

AGENDA ORDINARY COUNCIL MEETING

Date:	Wednesday, 11 September 2024
Time:	9am
Venue:	<i>Simeon Lord Room Esk Library Building 19 Heap Street Esk</i>

Item No.	Description	Page No
1.	Opening of Meeting	-
2.	Leave of absence	-
3.	Confirmation of Previous Minutes	-
4.	Business arising out of minutes of previous meeting	-
5.	Matters of Public Interest	-
6.	Declarations of Interest	-
7.	Reception and consideration of Officers' reports	-

PLANNING AND ECONOMIC DEVELOPMENT

8.	Development Application No. 24827 for a Development Permit for a Material change of use for an Extension to Indoor sport and recreation at 35-37 Hope Street, Kilcoy and described as Lot 306 SP318221 and Lot 10 SP162934.	4
9.	Endorsement of Somerset Regional Council Local Housing Action Plan	128

FINANCE

10.	Finance report	150
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CORPORATE AND COMMUNITY SERVICES

11.	Formation of Somerset Social Plan Advisory Committee	176
12.	Fernvale Sports Park Committee Meeting	177
13.	Esk Recreation Grounds Advisory Committee Meeting	182
14.	Somerset Arts, Culture and Heritage Advisory Committee – Meeting 26 August 2024	186

OPERATIONS

15.	Australian Trail Horse Riders Association – Coominya Recreational Oval (Cricket Ground) - Approval to Camp Overnight on 18 April 2025 for Rail Trail Event – Yarraman to Fernvale	191
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16.	Kilcoy Christmas Tree – Turning on the Lights and Community BBQ – Sunday, 1 December 2024	194
17.	Traffic and Safety Advisory Committee – Meeting 15 August 2024	196
18.	Operations Report for August 2024	199

HR AND CUSTOMER SERVICE

19.	Nil	-
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CHIEF EXECUTIVE OFFICER

20.	Community Assistance Grants 2024 -2025 – Brisbane Valley Pony and Hack Club Inc.	212
21.	Community Assistance Grants 2024-2025 – Returned and Services League of Australia Esk Sub Branch Inc.	213
22.	Community Assistance Grants 2024-2025 – Folk Art Co-operative Society Ltd	214
23.	Community Assistance Grants 2024-2025 – Glamorgan Vale Tennis Club Inc.	215
24.	Community Assistance Grants 2024-2025 – Hopetoun Masonic Lodge	216
25.	Community Assistance Grants 2024-2025 – Linville Progress Association Inc.	217
26.	Community Assistance Grants 2024-2025 – Lions Camp Duckadang	218
27.	Community Assistance Grants 2024-2025 – Lowood and District Memorial Bowls Club Inc.	219
28.	Community Assistance Grants 2024-2025 – Lowood Masonic Lodge	220
29.	Community Assistance Grants 2024-2025 – Moore Soldiers Memorial Hall Association Inc	221
30.	Community Assistance Grants 2024-2025 – St John Biarra Masonic Lodge	222
31.	Community Assistance Grants 2024-2025 – Returned and Services League of Australia Toogoolawah Sub Branch Inc.	223

CLOSED CONFIDENTIAL

32.	Kipper Creek Road, Dundas – Road Classification	Report provided separately
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GENERAL

33.	Meetings authorised by Council	-
34.	Mayor's and Councillors' Report	-
35.	Receipt of Petition	-
36.	Consideration of notified motions	-
37.	Reception of Notices of Motion for next meeting	-
38.	Items for reports for future meetings	-
39.	Closure of Meeting	-

Agenda Link

PLANNING	4
Development Application No. 24827 for a Development Permit for a Material change of use for an Extension to Indoor sport and recreation at 35-37 Hope Street, Kilcoy	4
Endorsement of Somerset Regional Council Local Housing Action Plan	128
FINANCE	150
Finance Report	150
CORPORATE AND COMMUNITY SERVICES	176
Formation of Somerset Social Plan Advisory Committee	176
Fernvale Sports Park Advisory Committee Meeting	177
Esk Recreation Grounds Advisory Committee Meeting	182
Somerset Arts, Culture and Heritage Advisory Committee	186
OPERATIONS	191
Australian Trail Horse Riders Association – Coominya Recreational Oval (Cricket Ground)	191
Kilcoy Christmas Tree – Turning on the Lights and Community BBQ	194
Traffic and Safety Advisory Committee – Meeting 15 August 2024	196
Operations Report for August 2024	199
CHIEF EXECUTIVE OFFICER	212
Community Assistance Grants 2024 -2025 – Brisbane Valley Pony and Hack Club Inc.	212
Community Assistance Grants 2024-2025 – Returned and Services League of Australia Esk Sub Branch Inc.	213
Community Assistance Grants 2024-2025 – Folk Art Co-operative Society Ltd	214
Community Assistance Grants 2024-2025 – Glamorgan Vale Tennis Club Inc.	215
Community Assistance Grants 2024-2025 – Hopetoun Masonic Lodge	216
Community Assistance Grants 2024-2025 – Linville Progress Association Inc.	217
Community Assistance Grants 2024-2025 – Lions Camp Duckadang	218
Community Assistance Grants 2024-2025 – Lowood and District Memorial Bowls Club Inc.	219
Community Assistance Grants 2024-2025 – Lowood Masonic Lodge	220
Community Assistance Grants 2024-2025 – Moore Soldiers Memorial Hall Association Inc.	221
Community Assistance Grants 2024-2025 – St John Biarra Masonic Lodge	222
Community Assistance Grants 2024-2025 – Returned and Services League of Australia Toogoolawah Sub Branch Inc	223

PLANNING

SOMERSET REGIONAL COUNCIL - OFFICER'S REPORT

To: Andrew Johnson, Chief Executive Officer

From: Mark Westaway, Senior Planner

Director: Luke Hannan, Director of Planning and Development

Date: 30 August 2024

Subject: Development Application No. 24827 for a Development Permit for a Material change of use for an Extension to Indoor sport and recreation at 35-37 Hope Street, Kilcoy and described as Lot 306 SP318221 and Lot 10 SP162934.

File No: DA24827 Action Officer: MW-SP

Assessment No: 00002-50000-000

1.0 APPLICATION SUMMARY

Property details

Location: 35-37 Hope Street, Kilcoy

Real property description: Lot 306 SP318221 and Lot 10 SP162934

Site area: Lot 306 – 2.512ha
Lot 10 – 11.5252ha

Current land use: Kilcoy Indoor Sport Centre, Kilcoy Swimming Pool and Yowie Park

Easements/encumbrances: Nil identified

South East Queensland Regional Plan

Land use category: Urban footprint
Regional landscape and rural production area

Planning scheme details

Planning scheme: Somerset Region Planning Scheme (Version 4.2)

Zone: Recreation and open space zone

Precinct: Not applicable

Overlays: OM1 Agricultural land overlay (Lot 10)
OM3 Biodiversity overlay (Lot 10)
OM4 Bushfire hazard overlay (Lot 10)
OM5 Catchment management overlay (Lot 10)
OM7 Flood hazard overlay
OM8 High impact activities management area overlay
OM9 Infrastructure overlay
OM13 Stock route management overlay

Application details

Proposal: Extension to Kilcoy Indoor Sport Centre

Category of assessment: Code assessment

Applicant details: Somerset Regional Council

Owner details: C/- ONF Surveyors
PO Box 896
KINGAROY QLD 4610

Date application received: 9 April 2024

Date application properly made: 9 April 2024

Referrals State Assessment and Referral Agency

Public notification Not required

RECOMMENDED DECISION

Approve the development application subject to the development conditions and requirements contained in the schedules and attachments of this report.



**Locality Plan of Lot 306 SP318221 and Lot 10 SP162934
Situated at 35-37 Hope Street, Kilcoy**

2.0 PROPOSAL

This development application seeks approval for an Extension to Indoor sport and recreation, on land at 35-37 Hope Street, Kilcoy, formally described as Lot 306 SP318221 and Lot 10 SP162934.

Lot 10 SP162934 is included in the application as the proposed parking area at the rear of the site is located within Lot 10.

The proposed development will be staged by converting the existing shed to provide for the new gymnasium and gymnastics hall and multipurpose rooms as Stage 1 and the multipurpose indoor sports courts as Stage 2.

The existing Kilcoy Indoor Sport Centre building has an area of 1,383m² and contains a gymnasium around an indoor cricket net. A gymnastics area is located at the eastern end of the building. Additional infrastructure on site includes an external basketball court with a hardstand area of approximately 450m² located at the rear of the building. A 12m x 6m shed is also located at the rear of the building. A 12m x 3m transportable building is located to the west of the main sports centre building.

The site contains 27 car parking spaces in Hope Street and an informal parking area to the eastern side of the building, served by a gravel driveway.

The proposed extension to the building includes:

- Upgrading of the existing shed to provide a dedicated gymnasium and gymnastics area, separated by a solid wall;
- Construction of a large building extension to the south of the existing building including two multipurpose courts and ancillary facilities including change rooms; and
- A multipurpose wing to the west of the existing and proposed building including café, reception area, administration room, allied health consulting rooms, toilets and multipurpose rooms.

The building will have a total gross floor area of 3,973m², an increase of approximately 2,050m² of useable area and an increase of gross floor area of approximately 2,500m².

Stage 1 will have an increase in gross floor area of approximately 944m². Stage 2 will have an increase in gross floor area of 1556m²

Ancillary works to the extension include:

- Additional fill at the rear of the building to provide a flat building area for the building extension;
- A retaining wall at the southern end of the fill;
- Additional carparking on site and within Hope Street; and
- Upgrades to Hope Street including a bus drop off area.

The car parking for the development comprises a total of 133 spaces and includes:

- 39 parking spaces at the front of the site including three PWD spaces;
- 25 parking spaces to the east of the building;
- 29 parking spaces at the rear of the building (on Lot 306); and
- 40 overflow parking spaces along Hope Street to the east of the site.

3.0 SITE DETAILS

3.1 Description of the land

Lot 306 is a roughly rectangular lot with frontage to Hope Street at the northern boundary. The site contains the Kilcoy Indoor Sport Centre, the Kilcoy swimming pool, Craft market and Hall of history. These uses all operate somewhat independently of each other.

Lot 10 contains the Hopetoun Sports Fields which are located behind the Kilcoy Indoor Sport Centre. Lot 10 is included in the application as the development includes a proposed car park at the rear of the site which extends into Lot 10.

Surrounding lots to the east and north (with respect to the Kilcoy Indoor Sport Centre) are within the General residential zone and are typically improved with dwelling houses and associated buildings and structures. Lot 306 slopes to the south, toward the rear of the site.

Access to the site will be via a new crossover to Hope Street. Additional parking is proposed within Hope Street.

Access to the broader road network is via Hope Street and Seib Street and Royston Street. The eastern section of Hope Street does not have direct access to the western section of Hope Street (which is part of the D'Aguilar Highway). Hope Street, Seib Street and Royston Street are all described as Access Streets in Council's road hierarchy.

As the development includes works in the Hope Street road reserve, an Operational Works approval will be required for roadworks.

While Hope Street is shown as part of the future Kilcoy bypass alignment, the timing of this project is unclear.

3.2 Site approval history

A number of Building approvals have been issued over the site, however these relate to unrelated buildings on Lot 306.

3.3 Connection to electricity and telecommunications

The land is within the Open space and recreation zone. The existing development is connected to reticulated electricity and telecommunications networks. These services will be reused to service the expanded development

4.0 PLANNING LEGISLATION

The application will be assessed against the matters set out in section 45 and decided in accordance with section 60 of the *Planning Act 2016*.

The application was initially proposed to be subject to Impact assessment in that the car park for the development is on Lot 10 that is outside of the Urban footprint. An Indoor entertainment development within the Regional landscape and rural production area typically triggers an Impact assessable application whereas an Indoor sport and entertainment use within the Open space and recreation zone is subject to Code assessment.

All of the building works are proposed within the Urban footprint on Lot 306. None of the building works are located on Lot 10.

The SARA provided clarification and written advice on 11 June 2024 stating the jurisdiction did not apply as:

“The proposed building footprint for the indoor recreation use is located within the urban footprint regional land use classification footprint only and is not assessable under the SEQ regional plan triggers.”

Consequently, the application was only subject to Code assessment.

5.0 ASSESSMENT BENCHMARKS

The proposal requires assessment against the following assessment benchmarks.

5.1 State Planning Policy 2017

The State Planning Policy 2017 (SPP) came into effect on 3 July 2017 and is not identified as being reflected in the Somerset Region Planning Scheme. The application requires an assessment against the assessment benchmarks contained within Part E, and Council must have regard to each of the State Interests within the SPP, to the extent relevant to the application.

The application has been assessed against the assessment benchmarks and relevant state interests and the proposal is considered to comply (to the extent relevant).

5.2 South East Queensland Regional Plan

The site is located within the Urban footprint (Lot 306) and Regional landscape and rural production area (Lot 10). The application has been assessed against the provisions of the regional plan and the associated regulatory requirements and was considered to comply.

5.3 Schedule 10 of the *Planning Regulation 2017*

Schedule 10 of the *Planning Regulation 2017* establishes assessment triggers, requirements, and assessment benchmarks. No Council assessment of the development against an assessment benchmark from the Regulation was required. Where a referral agency undertakes an assessment against a matter as required by the Regulation, this is discussed in section 6.0 of this report.

Schedule 10 of the *Planning Regulation 2017* establishes assessment triggers, requirements, and assessment benchmarks. An assessment of the development against an assessment benchmark from the Regulation was required and is discussed below. Where a referral agency undertakes an assessment against a matter as required by the Regulation, this is discussed in section 6.0 of this report.

The proposal:

- (a) does not impact on any regulated vegetation;
- (b) does not impact on any koala habitat areas;
- (c) is not located within a koala priority area;
- (d) is not located in proximity to a Queensland heritage place or local heritage place;
- (e) is not on land designated for infrastructure;
- (f) does not involve any environmentally relevant activities.

5.4 Temporary local planning instruments

There are currently no temporary local planning instruments in effect within the Somerset Region.

5.5 Variation approvals

The property is not benefitted by any variation approvals.

5.6 Somerset Region Planning Scheme (Version 4.2)

5.6.1 Relevant assessment benchmarks from the planning scheme

The following are the relevant sections of the planning scheme for the assessment of this application:

- (a) 6.2.7 Recreation and open space zone code;
- (b) 7.2.7 Flood hazard overlay code;
- (c) 7.2.9 Infrastructure overlay code;
- (d) 8.2.12 Recreation activities code;
- (e) 8.3.5 Services works and infrastructure code; and
- (f) 8.3.6 Transport access and parking code.

The above relevant sections may be supported by additional information contained within the balance of the planning scheme.

Additionally, the site is mapped within the OM008 High impact activities management area overlay. As the use is not a high impact activity, as defined in the planning scheme, the overlay code does not apply.

5.6.2 Strategic framework assessment

An assessment against the strategic framework was not required as this development application was subject to code assessment.

5.6.3 Code compliance summary

The assessment below identifies how the development proposal achieves the relevant assessment benchmarks from the planning scheme (other than the strategic framework) and the proposal seeks an alternative outcome:

- (a) to the identified acceptable outcomes satisfying or not satisfying the corresponding performance outcomes; or
- (b) where no acceptable outcome is stated in the code and the proposed outcome does not satisfy the performance outcome.

Relevant code	Compliance with overall outcomes	Performance outcomes
Recreation and open space zone code	Yes	PO1, PO2
Recreational activities code	Yes	No alternative outcomes proposed
Services works and infrastructure code	Yes	No alternative outcomes proposed
Transport access and parking code	Yes	PO3, PO4, PO7, PO11
Relevant overlay code	Compliance with overall outcomes	Performance outcomes
Flood hazard overlay code	Yes	No alternative outcomes proposed
Infrastructure overlay code	Yes	PO9

The assessment of the development proposal against the performance outcomes of the applicable code(s) is discussed below.

5.6.4 Performance outcome assessment

Recreation and open space zone code

Performance outcome	Acceptable outcome
Building height	
PO1 <i>Building height:</i> (a) maintains a predominant low-medium rise built form; and (b) complements development in the surrounding locality.	A01 <i>Building height</i> does not exceed two <i>storeys</i> and 8.5 metres above <i>ground level</i> .
Alternative outcome assessment The building has a maximum height of approximately 11.5m in order to accommodate indoor ball sports including basketball. The highest part of the building is located toward the rear of the building and therefore will be largely screened from Hope Street by the existing building. It is recommended that the alternative outcome be accepted in this instance.	
Building setbacks	
PO2 Building setbacks: (a) maintain a coherent streetscape; and manage potential impacts on the amenity enjoyed by development on <i>adjoining premises</i> .	A02.1 Buildings and structures are setback a minimum 10 metres from the <i>primary street frontage</i> of the site. A02.2 Buildings and structures are setback a minimum 6 metres from side and rear boundaries of the site.
Alternative outcome assessment The existing building is setback approx. 19.7m from Hope Street. The new western wing of the building is setback approximately 8m from Hope Street. It is considered the reduced setback for the western wing is suitable in that the entry is part of a single storey building that provides the main entrance to the facility, while the majority of the development is setback considerably further than the minimum setback. The southeast corner of the extension is approximately 1.8m from the rear boundary, however the lot to the rear contains sports fields and is unlikely to be redeveloped for other purposes. The boundary runs diagonally in this area (noting the squared off rear boundary is approx. 10m from the rear of the building and the squared off side boundary is about 46m from the side of the building extension. It is recommended that the alternative outcome be accepted in this instance.	

Transport, access and parking code

Performance outcome	Acceptable outcome
Vehicle parking and servicing	
PO3 The amount of on-site car parking and service vehicle loading/ unloading is consistent with: (a) the nature of the use; (b) the traffic generation of the use; (c) the loading/ unloading needs of the use;	A03.1 The minimum number of car parking spaces complies with Table 8.3.6.3.B– Minimum car parking requirements . A03.2

Performance outcome	Acceptable outcome
<p>(d) the availability of street parking in the Centre zone; and</p> <p>(e) the impact of the <i>road</i> network.</p> <p>Car parks, service vehicle access, loading and manoeuvring areas are of suitable standard for the intended use.</p>	<p>The service vehicle complies with Table 8.3.6.3.B– Minimum loading vehicle requirements.</p> <p>AO3.3 The service vehicle is able to enter and leave the <i>site</i> in forward gear.</p> <p>AO3.4 Service vehicles stand entirely within the <i>site</i> while unloading/ loading.</p>
<p>Alternative outcome assessment</p> <p>The Indoor sport and recreation use has a parking rate of one space per 20 square metres or part thereof of gross floor area. The development has a gross floor area of 3973m² resulting in a perceived demand of 199 spaces.</p> <p>Overall, the development increases the number of formalised parking spaces by 106 while increasing the overall gross floor area by approximately 2,500m².</p> <p>Currently there are 27 line marked parking spaces along the site frontage, as well as a bus parking area. A separate PWD space is located at the head of the Hope Street cul-de-sac, and three line marked parking spaces are located on the northern side of Hope Street.</p> <p>A traffic impact assessment, prepared by PSA Consulting has been included with the development application.</p> <p>Two turning bays will be required for the parking aisle that serves the eastern parking area and the southern parking area. In the event these parking areas are full, users of the carpark will require an option to turn around, so as not to travel the full length of the driveway to find a place to turn around. Should the application be approved, appropriate conditions will be included.</p> <p>It is recommended that the alternative outcome be accepted in this instance.</p>	
Impacts on residential streets	
<p>PO4</p> <p>Non-residential activities do not impact on the amenity of land zoned or intended for residential purposes.</p>	<p>AO4</p> <p>Non-residential activities do not use residential streets for access or haulage purposes.</p>
<p>Alternative outcome assessment</p> <p>Recent upgrades to the D'Aguilar Highway have resulted in Hope Street between Seib Street and Mary Street being converted into a no-through road. Separate to the Indoor sport centre, seven residential properties within this section of Hope Street have driveways with direct access to Hope Street.</p> <p>The eastern section of Hope Street provides access to the residential properties as well as the sports ground and Indoor Sport Centre.</p> <p>Vehicles currently use the existing linemarked spaces within Hope Street as well as unmarked spaces on the north side of Hope Street, and the grassed verge on the south side of Hope Street to the east of the facility.</p> <p>When large events such as gymnastic festivals occur on site, overflow traffic parking has occurred along Hope Street.</p>	

Performance outcome	Acceptable outcome
<p>The additional formalised parking for the facility provides a sealed surface that improves the traffic movements within Hope Street and mitigates the current situation of unpaved parking areas that contain potholes or soft ground.</p> <p>It is recommended that that alternative outcome be accepted in this instance.</p> <p>As a side matter, it is noted that Acceptable Outcome AO5.1 of the Transport, access and parking code states: “Where the site has two street frontages, vehicular access is provided from the minor street.”</p> <p>In this circumstance, the development is gaining access from the non-arterial section of Hope Street.</p>	
Car parking locations and treatments	
<p>PO7</p> <p>Car parking location minimises impacts on the streetscape and contributes to the intended character of the zone and locality.</p>	<p>AO4 AO7.1</p> <p>Car parking is located behind or within a building.</p>
<p>Alternative outcome assessment</p> <p>Part of the parking is located to the side and behind the main building, however the closest parking to the building involves a redevelopment of the existing parking to provide additional parking in a designated “off street” parking aisle with a bus drop off area within Hope Street. While the off street parking is partially within the road reserve, these parking spaces are not directly accessed from Hope Street.</p> <p>The section of Hope Street in front of the Sports Centre currently has a pavement width of approximately 23 metres. The redesign would reduce the pavement width to approximately 11 metres.</p> <p>The overflow parking area to the east of the site would increase in pavement width to approximately 20.5 metres, however this area is less likely to be used regularly.</p> <p>In order to minimise car lights shining on houses across the road, it is suggested that the cars using the northern row of parking spaces reverse in at night. This is however a management mechanism, rather than something that could be conditioned.</p> <p>It is noted that Acceptable Outcome AO5.1 of the Transport, access and parking code states: “Where the site has two street frontages, vehicular access is provided from the minor street.”</p> <p>In this circumstance, the development is gaining access from the non-arterial section of Hope Street.</p> <p>It is recommended that that alternative outcome be accepted in this instance.</p>	
Vehicle standing and manoeuvring areas	
<p>PO11</p> <p>Long driveways are designed and treated to soften their visual appearance when viewed from the street frontage.</p>	<p>AO11</p> <p>Internal driveways (except in the Rural zone) do not exceed 50 metres in length.</p>
<p>Alternative outcome assessment</p> <p>The internal driveway that connects to the rear car park exceeds 50m in length, however the visual appearance of the driveway is ameliorated by being at the far end of a car park.</p>	

Performance outcome	Acceptable outcome
and on an alignment that is to the south of the retaining wall, therefore not being visible from Hope Street.	
It is recommended that that alternative outcome be accepted in this instance.	

Infrastructure overlay code

Performance outcome	Acceptable outcome
Kilcoy bypass	
PO9 <i>Development</i> does not prejudice the future establishment, operation, or maintenance of the <i>Kilcoy bypass</i> as identified on the Infrastructure overlay maps OM008a-g .	AO9 No acceptable outcome provided.
Alternative outcome assessment The application was referred to the SARA as part of the assessment process as the subject site adjoins a State controlled road. No issues were raised by SARA with respect to the Kilcoy bypass. The development includes work within Hope Street. The Kilcoy bypass however appears to have been rendered obsolete by the State's upgrade to the D'Aguilar Highway and the closure of the eastern leg of the Hope Street and Mary Street intersection. It is recommended that that alternative outcome be accepted in this instance.	

5.6.5 Overall outcome assessment

The proposal is considered to comply with all the relevant performance outcomes. As such, a detailed assessment of the overall outcomes was not required.

5.7 Local government infrastructure plan

5.7.1 Priority infrastructure area

The development land is located within the priority infrastructure area as shown in the Local government infrastructure plan mapping.

5.7.2 Infrastructure charges

The proposed development is for Indoor sport and recreation, which is identified as being within the Indoor sport and recreation category under *Somerset Regional Council Charges Resolution (No. 1) 2024*. The land is within Charge Area A for determining the relevant adopted charges.

The draft infrastructure charges notice is attached and identifies how the levied charge for the relevant local government networks have been worked out as required by the *Planning Act 2016*.

5.7.3 Trunk infrastructure requirements

5.7.3.1 Drinking water and wastewater networks

The site is located within the connections area or future connections area for both the drinking water and wastewater networks as shown in Urban Utilities' Netserv Plan.

The existing indoor sport facility is connected to water and sewer networks. The recommended conditions require the development to connect to both networks to the satisfaction of Urban Utilities.

Infrastructure charges for the drinking water and wastewater networks (where applicable) are managed by Urban Utilities separately from this development application.

5.7.3.2 Stormwater network

Stormwater as a result of the development is not anticipated to result in an adverse impact on Council's trunk stormwater network infrastructure, and no additional trunk infrastructure has been identified as being necessary to deliver the development.

Standard development conditions are recommended to ensure no actionable nuisances occur and discharge to a lawful point of discharge is achieved, as required by the Queensland Urban Drainage Manual (QUDM).

An adopted charge for the stormwater network applies.

5.7.3.3 Public parks and community land network

The proposal is not considered to result in an unreasonable impact on Council's trunk public park and community land network infrastructure, and no trunk infrastructure has been identified as being required to support the development.

An adopted charge for the public parks and community land network applies.

5.7.3.4 Transport network

The proposal is not anticipated to result in an adverse impact on Council's trunk transport network infrastructure, and no additional trunk infrastructure has been identified as being required to deliver the development.

An adopted charge for the transport network applies.

6.0 REFERRAL

6.1 Referral agencies

In accordance with the *Planning Regulation 2017*, the application required referral to the State Assessment and Referral Agency (SARA) for matters relating to state-controlled roads. The SARA advised that they had no objections to the approval of the development application, subject to the imposition of development conditions. The SARA's referral agency response will be attached to Council's decision notice and a copy has been attached to this report for Council's reference.

6.2 Third party advice

Council did not seek any third-party advice for this application.

7.0 PUBLIC NOTIFICATION

As the application is subject to code assessment, public notification was not required.

8.0 OTHER RELEVANT MATTERS

There are no other relevant matters applicable for code assessment.

The application was also referred due to part of the site being contained within the SEQ regional landscape and rural production area. The SARA provided written advice on 11 June 2024 stating the jurisdiction did not apply as:

"The proposed building footprint for the indoor recreation use is located within the urban footprint regional land use classification footprint only and is not assessable under the SEQ regional plan triggers."

9.0 CONCLUSION

The proposed development is for a Material change of use for an extension to Indoor sport and recreation. The proposal has demonstrated compliance with the relevant assessment benchmarks as outlined in this assessment.

10.0 ATTACHMENT

1. Proposal plans
2. Traffic impact statement
3. Noise impact assessment report
4. Concept Stormwater Management Plan
5. State Assessment and Referral Agency response

6. Draft infrastructure charges notice

RECOMMENDATION

THAT Council:

1. approve Development Application No. 24827 for a Development Permit for a Material Change of use for an Extension to Indoor sport and recreation on land situated at 35-37 Hope Street, Kilcoy, formally described as Lot 306 SP318221 and Lot 10 SP162934, subject to the recommended conditions and requirements contained in the schedules and attachments to this report.
2. publish the officer's report for this application to Council's website as the statement of reasons in accordance with section 63(5) of the *Planning Act 2016*.

DEVELOPMENT PERMIT FOR MATERIAL CHANGE OF USE		
SCHEDULE 1 – GENERAL CONDITIONS		
<i>Assessment Manager</i>		
No	Condition	Timing
1.1	<p>Carry out the development generally in accordance with the material contained in the development application, supporting documentation, and the plans and documents listed below (including as amended in RED by Council), except where amended by these development conditions.</p> <p>Site Plan, Drawing No A100 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.</p> <p>Ground Plan, Drawing No A101 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.</p> <p>Elevations Drawing No A103 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.</p> <p>Traffic Impact Statement, Job no 1679 version V2, prepared by PSA Consulting, dated 6 March 2024</p> <p>Environmental Noise Assessment, Proposed Sport and Recreation Centre Extension at 35-39 Hope Street, Kilcoy, prepared by TTM, reference 23BRA0100 R01_2, dated 31 July 2024</p> <p>Kilcoy Indoor Sports Centre - Concept Stormwater Management Plan, prepared by GenEng Solutions, Rev 1.1, dated 22 March 2024.</p> <p>State Assessment and Referral Agency referral agency response 2404-40219 SRA dated 11 June 2024</p>	At all times.
	General	
1.2	<p>The development shall be staged as follows:</p> <p><u>Stage 1</u> Conversion of the existing shed to provide for the new gymnasium and gymnastics hall and multipurpose rooms.</p> <p><u>Stage 2</u> Construction of multipurpose indoor sports courts.</p>	As conditioned.
1.3	A legible copy of this Development Approval, including the approved plans and documents bearing Council's stamp, must be available on the subject land for inspection.	During site works, building works or operational works phases.
1.4	The development must comply with the relevant provisions of the Somerset Region Planning Scheme (Version 4.2) and	At all times.

	Local Laws, to the extent they have not been varied by this Development Approval.	
1.5	Pay to Council any outstanding rates or charges or expenses that are a charge over the subject land levied by Council; and/or levied but not fully paid over the subject land.	Prior to commencement of use.
1.6	Provide certification that all services (e.g. water, drainage, electricity, telecommunications) are wholly contained within the lot that they serve.	Prior to commencement of use.
1.7	Remove any services made redundant as a result of the development and reinstate the land.	Prior to commencement of use.
1.8	Repair any damage to existing infrastructure (e.g. kerb and channel, footpath, or roadway) that may have occurred as part of the development. Any damage that is deemed to create a hazard to the community must be repaired immediately.	At all times.
1.9	All development conditions of this Development Approval must be complied with at no cost to Council, unless stated otherwise in any specific development condition.	At all times.
	Waste disposal	
1.10	(a) Relocate the bin storage area to be fully inside the property. (b) Refuse bin storage areas must be provided on the premises within a building, outbuilding or other enclosed structure so that it is screened from public view with a minimum 1.5 metre high solid fence or wall.	Prior to commencement of use for Stage 1.
1.11	Provide Waste Collection Areas in such locations so as to allow a servicing vehicle to enter and manoeuvre, so as to minimise the risk of injury to persons or damage to property, and leave the property in forward gear.	Prior to commencement of use for Stage 1.
1.12	Refuse collection and other loading and unloading activities may only occur during the following period: (a) 7am and 6pm Monday to Friday; and (b) 8am and 5pm Saturday and Sunday.	At all times.
	Building design	
1.13	Construct the development in accordance with the materials listed on the approved plans.	At the commencement of the use.
1.14	The building and structures must be constructed of robust materials that are graffiti resistant.	At all times.
1.15	Install street numbering and any building name at the road frontage of the site, to enable identification by emergency services.	Prior to obtaining a Certificate of Occupancy and then to be maintained at all times.
	Landscaping, screening and amenity	

1.16	Protect all landscaped areas and pedestrian paths adjoining any car parking areas from vehicular encroachment by wheel stops or kerbing barrier approved by Council.	Prior to obtaining a Certificate of Occupancy and then to be maintained at all times.
1.17	Screen loading/unloading facilities, plant areas, refuse storage and other outdoor storage facilities on the site from direct view from any adjoining road or public space.	Prior to obtaining a Certificate of Occupancy and then to be maintained at all times.
1.18	Locate garbage bin areas, rainwater tanks, hot water tanks, gas bottles and air conditioners in the rear or side setbacks (including generally as shown on the approved plans) and include screening (e.g. fencing or landscaping) from view from any road frontage.	Prior to obtaining a Certificate of Occupancy and then to be maintained at all times.
1.19	Any graffiti on buildings, structures, or fences on the subject land visible from public viewing locations must be removed within 24 hours or upon direction by Council.	At all times.
Service connections		
1.20	Connect the development to the reticulated drinking water and wastewater networks in accordance with the standards and requirements of the South East Queensland Distributor-Retailer Authority, trading as Urban Utilities. Evidence of connection to be provided to Council.	Prior to the commencement of the use.
1.21	Connect the development to the reticulated electricity and telecommunications networks to the standards of the relevant service provider. Evidence of the connections are to be provided to Council.	Prior to obtaining a Certificate of Occupancy and then to be maintained at all times.
1.22	Remove any services made redundant as a result of the development and reinstate the land.	Prior to obtaining a Certificate of Occupancy.
SCHEDULE 2 – ENGINEERING		
<i>Assessment Manager</i>		
No	Condition	Timing
	General	
2.1	Make an Operational Work application to Council and pay the required fees where an application involves earthworks, erosion and sediment control, roadworks, car parks, landscaping, clearing and stormwater drainage required as stated in the following conditions.	Prior to the commencement of Operational Work.
2.2	All works are to be designed and constructed in accordance with the requirements of the <i>Somerset Region Planning Scheme</i> .	At all times.
2.3	Bear the costs of works carried out to Council and utility services infrastructure and assets, including any alterations and repairs resulting from compliance with these development conditions.	At all times.

2.4	<p>It is required that the design and construction of civil components of the Operational Work are to be certified by a Registered Professional Engineer Queensland (RPEQ), including:</p> <ul style="list-style-type: none"> Plans and specifications must be prepared and certified with the Operational Work application. Certification that the works have been undertaken in accordance with the approved plans, specifications and to Council's requirements. 	Prior to commencement of use.
2.5	Obtain approval for the demolition or removal of any existing buildings on site necessary for the approved development to proceed.	As part of Operational Works for Stage 1.
	Landscaping	
2.6	The development site must be landscaped. The works must be undertaken in accordance with an operational works approval.	As part of Operational works for Landscaping Works.
2.7	<p>The developer must submit to the Manager Engineering Services for endorsement, a Landscape Plan for all landscaping associated with the development. The plan must be prepared by a suitably qualified and experienced Landscape Architect, horticulturist, or other person experienced in landscape design and construction. The Landscape Plan must address the performance criteria listed below:</p> <ul style="list-style-type: none"> Comply with the <i>Somerset Region Planning Scheme</i>. To enhance the appearance of the development internally and externally. To make a positive contribution to the streetscape. To screen unsightly objects from public view. To contribute to an environment by providing shade to reduce glare, heat absorption and radiation. To ensure common areas are useable. To provide long term erosion protection. To integrate with existing vegetation and other natural features of the site and adjoining lands. To provide adequate vehicle sightlines and road safety. <p>The Landscape Plan must also detail:</p> <ul style="list-style-type: none"> The typical species to be planted, consisting mainly of drought-tolerant species suitable to their individual location on site. The number and size of plants. The typical planting detail including preparation, backfill, staking and mulching. The developer must prepare and landscape the site in accordance with the approved Landscape Plan, or as otherwise approved in writing by the Manager Engineering Services. Any amendments approved by the Manager Engineering Services are taken to be a part of the approved Landscape Plan. All declared weeds and pests must be removed from the subject land and the subject land kept 	As part of Operational works for Landscaping Works.

	<p>clear of such nuisance varieties at all times during the course of development works and any ensuing defects liability period.</p> <ul style="list-style-type: none"> • Apart from declared weeds and pests, trees, shrubs and landscaped areas currently existing on the subject land must be retained where possible and action taken to minimize disturbance during construction work. • Landscaping provided within the front boundary setback of the subject land and around car parking areas within the subject land must allow visibility into the site by: <ul style="list-style-type: none"> ○ Using trees which have a clean trunk height of at least 1.8 metres (at maturity); ○ Using shrubs with a maximum height of 0.75 metres, in order to retain sight lines. • A minimum of 70% of landscaped areas must be retained as a permeable surface. • Landscape areas must be maintained, and the site must remain in a clean and tidy state at all times. 	
	Building above flood level	
2.8	Any filling below the Defined Flood Level (DFL) will be in accordance with an approved flood study.	Prior to the commencement of works.
2.9	Buildings are located to avoid significant flood flows or velocities.	At all times.
2.10	The development does not increase the flood hazard for other properties.	At all times.
	Earthworks	
2.11	All earthworks to be constructed in accordance with AS3798. Fill material is to be placed, compacted, and tested by a suitably qualified inspection and testing organisation.	At all times.
2.12	Contaminated material must not be used as fill on the site. Any filling must be undertaken using inert materials only.	At all times.
2.13	Any fill, cut and other stored material must be contained within properties comprising the development application. Fill cannot be placed on adjacent properties without providing Council with written permission from the respective property owner(s).	At all times.
	Roadworks	
2.14	All works on or adjacent to roadways must be adequately signed in accordance with the " <i>Austroads Guide to Temporary Traffic Management</i> ". Any Road or lane closure must be applied for in writing to Council, and all conditions of that approval complied with during construction of the works.	Prior to commencement of and during construction of works.
2.15	Provide verge and access in accordance with <i>Somerset Region Planning Scheme</i> .	As part of Operational Works.

2.16	It is required that that all civil components submitted as part of any Operational Work application are to be certified by a Registered Professional Engineer Queensland (RPEQ), and as per this approval. Any change to these components may require a change application to be submitted with regards to this approval.	As part of Operational Works.
	Street lighting	
2.17	<p>Install street lighting in accordance with AS1158 – <i>Code of Practices for Public Lighting</i> as follows:</p> <p>Install all street lighting on the same side as footpaths, where applicable.</p> <p>Obtain certification of street lighting installation by a Registered Professional Engineer Queensland (RPEQ).</p>	As part of Operational Works.
	CAR PARKING	
2.18	<p>(a) Provide on-site car parking for the development with a minimum of 93 vehicle spaces, including a minimum of three spaces for disabled persons in accordance with <i>Somerset Region Planning Scheme</i>.</p> <p>(b) Provide a minimum of 40 car parking spaces on the south side of Hope Street between Seib Street and the eastern driveway entrance to the sport centre.</p> <p>All car parking and circulation areas to be provided with sealed surface, line marking, or be otherwise designed in accordance with AS2890 and <i>Somerset Region Planning Scheme</i>.</p>	As part of Operational Works.
2.19	<p>(a) Provide secure bicycle parking and associated support facilities for a minimum of 20 bicycles in accordance with AS2890.</p> <p>(b) Provide secure bicycle parking and associated support facilities for a total of 40 bicycles in accordance with AS2890.</p>	<p>Prior to commencement of use for Stage 1.</p> <p>Prior to commencement of use for Stage 2.</p>
2.20	Provide a safe set down and pick up area for 1 emergency vehicles.	Prior to commencement of use for Stage 1.
2.21	All pedestrian pathways shall be appropriately marked and signposted where they cross internal driveways.	Prior to commencement of use for Stage 1.
2.22	Construct and maintain the driveway, vehicle manoeuvring and parking areas of hard standing material such as concrete, bitumen or pavers in accordance with Australian Standards.	At all times.
	Stormwater	
2.23	Ensure stormwater drainage is delivered to a lawful point of discharge.	At all times.

2.24	Stormwater drainage and flows are to have no increase in peak discharge immediately downstream of this development for a selected range of storm durations, and a selected range of AEP's up to the defined flood event.	At all times.
2.25	Stormwater drainage and flows are to have no actionable nuisance effect on adjoining, upstream, or downstream landholders.	At all times.
2.26	Stormwater drainage and flows are to have no increase in flood levels on adjoining land that may damage or adversely effect the value or potential use of the land.	At all times.
2.27	Design and construction of all stormwater drainage works must comply with the relevant section/s of the Queensland Urban Drainage Manual (QUDM) and the <i>Somerset Region Planning Scheme</i> .	As part of Operational Works.
2.28	Submit permission for the discharge of stormwater drainage to a lawful point of discharge from the owners of properties affected by any stormwater discharge from the site. <i>Note: Such consent may require supporting engineering plans and calculations.</i>	As part of Operational Works.
2.29	Submit a Site Based Stormwater Management Plan (SBSMP) prepared by a Registered Professional Engineer Queensland (RPEQ), which generally conforms to the approved development plan/s and <i>Somerset Region Planning Scheme</i> .	As part of the lodgement of the Operational Works application.
	Erosion and sediment control	
2.30	Erosion and sedimentation controls shall be implemented in accordance with current IECA best practice, and shall be maintained to Council's satisfaction at all times during the course of the project. Should Council determine that proposed controls are ineffective or a downstream drainage system has become silted, the developer will: <ul style="list-style-type: none"> • Be required to install additional measures. • Be responsible for the restoration work. Should the developer fail to complete the works determined by Council within the specified time, the Council will complete the work and recover all costs from the developer associated with the work.	At all times.
2.31	Measures shall be applied to prevent site vehicles tracking sediment and other pollutants onto adjoining streets during the course of the project, and to prevent dust nuisance.	At all times.

2.32	Prepare an Erosion and Sediment Control Plan designed by a Registered Professional Engineer Queensland (RPEQ). Implement all relevant sediment and erosion control measures and temporary fencing as identified on the approved engineering drawings as part of the operational works. All sediment control devices and sediment collection points shall be regularly monitored, sediment removed as necessary and devices maintained responsibly during construction and maintenance period of the development works.	As part of the lodgement of the Operational Works application.
2.33	All wastes to be managed in accordance with the relevant legislation and regulations with regulated waste to be disposed of at a licensed facility and general solid waste to be disposed of at approved landfill sites with the contractor covering all costs incurred for the receipt and management of the waste.	At all times.
2.34	Where vegetation is removed, the vegetation waste shall be disposed of by: <ul style="list-style-type: none"> i) Milling; ii) Chipping and/or mulching iii) Disposal at an approved waste disposal facility. No incineration of vegetation or waste will be permitted at the site. Waste other than vegetation waste, generated as a result of the operations shall be disposed of to an approved disposal facility.	At all times.
2.35	All declared weeds and pests are to be removed from the subject land and kept clear of such nuisance varieties during the course of operations.	Prior to carrying out any building works, and then to be maintained at all times.
2.36	Apart from declared weeds and pests, areas with trees, shrubs and landscaping currently existing on the subject land must be retained where possible and action taken to minimise disturbance during construction work.	As part of Operational Works.
SCHEDULE 3 – ENVIRONMENTAL HEALTH <i>Assessment Manager</i>		
No	Condition	Timing
	General	
3.1	Light sources must be positioned and shielded, when necessary, to prevent light spillage causing a nuisance to any other premises outside the boundaries of the property to which this development permit relates.	At all times.
3.2	Notwithstanding any other condition of this development permit, this development permit does not authorise any release of contaminants that causes, or is likely to cause, an environmental nuisance to any premises beyond the boundaries of the development site.	At all times.
3.3	Noise generated from the operation of the development must not cause an environmental nuisance at a sensitive place.	At all times.

	Noise																									
3.4	Noise Schedule Noise from the activity must not exceed the levels contained in the schedule below: <table><tr><th colspan="2">Time Varying Noise – $L_{Aeq}(1hr)$</th></tr><tr><th>Time period</th><th>External Noise dB(A)Limit</th></tr><tr><td>7am to 6pm (day)</td><td>Background + 5dBA</td></tr><tr><td>6pm to 10pm (evening)</td><td>Background + 5dBA</td></tr><tr><td>10pm to 7am (night)</td><td>Background + 5dBA</td></tr><tr><th colspan="2">Component Noise L_{A90T}</th></tr><tr><td>7am to 6pm (day)</td><td>Background + 0dBA</td></tr><tr><td>6pm to 10pm (evening)</td><td>Background + 0dBA</td></tr><tr><td>10pm to 7am (night)</td><td>Background + 0dBA</td></tr><tr><th colspan="2">Sleep Disturbance L_{Amax}</th></tr><tr><th>Time Period</th><th>External Noise dB(A) Limit</th></tr><tr><td>10pm to 7am (night)</td><td>52</td></tr></table>	Time Varying Noise – $L_{Aeq}(1hr)$		Time period	External Noise dB(A)Limit	7am to 6pm (day)	Background + 5dBA	6pm to 10pm (evening)	Background + 5dBA	10pm to 7am (night)	Background + 5dBA	Component Noise L_{A90T}		7am to 6pm (day)	Background + 0dBA	6pm to 10pm (evening)	Background + 0dBA	10pm to 7am (night)	Background + 0dBA	Sleep Disturbance L_{Amax}		Time Period	External Noise dB(A) Limit	10pm to 7am (night)	52	At all times.
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Time Period	External Noise dB(A) Limit																									
10pm to 7am (night)	52																									
3.5	Plant, equipment must be attenuated, partitioned, muffled and/or enclosed in a manner to achieve acceptable noise levels in accordance with this approval.	At all times.																								
3.6	Waste collection and deliveries must not occur between 10pm and 7am.	At all times.																								
3.7	Outdoor dining must not occur between 10pm and 7am.	At all times.																								
3.8	All ventilation louvres for the multipurpose courts must be closed between 10pm and 7am.	At all times.																								
3.9	All roller doors and doors of the multipurpose courts, gymnasium and gymnastics hall must be closed during operation (doors can be used for patron access, deliveries etc.).	At all times.																								
3.10	Any speed bumps must be bitumen, concrete (as part of a slab) or rubber, not metal.	At all times.																								
3.11	Ensure all site road surfaces are regularly maintained and have smooth surfaces free of potholes, loose or poorly fitted grates or manhole covers to minimise noise emissions.	At all times.																								
3.12	Acoustic Attenuation In accordance with the report prepared by TTM Consulting Pty Ltd titled, Environmental Noise Assessment - Proposed Sport and Recreational Centre Extension, 35-39 Hope Street Kilcoy, reference 23BRA0100 R01_2, the approval holder must construct the following: (a) External wall construction for the gymnasium, gymnastics hall and multipurpose courts must be a minimum of R_w23 acoustic rating. Example constructions include:	Prior to commencement of the use and to be maintained at all times.																								

	<ul style="list-style-type: none"> • Minimum 0.42BMT sheet metal with minimum R1.5 insulation. • Minimum 6mm fibre cement. <p>(b) An acoustic barrier at the location, height and extent as shown in figure 10 of the report prepared by TTM Consulting Pty Ltd titled, Environmental Noise Assessment - Proposed Sport and Recreational Centre Extension, 35-39 Hope Street Kilcoy, reference 23BRA0100 R01_2.</p> <p>The acoustic barrier must be:</p> <ul style="list-style-type: none"> • A minimum height of 1.8m relative to the adjacent car park level as shown in figure 10. • Of solid construction and have no gaps or holes for the extent shown. • Constructed of a material with a surface mass not less than 12.5kg/m². • Constructed of the following materials (but not limited to): lapped timber (min. 25mm thick timber palings (each), min. 50% overlap); plywood (min. 22mm); masonry; compressed fibre cement sheet; aluminium (min. 5mm); steel (min,2mm); glazing; earth mound or a combination of the above. 	
3.13	Provide certification from a suitably qualified acoustic consultant that the acoustic attenuation measures have been installed/implemented in accordance with the specifications of condition 3.0 above and the report prepared by TTM Consulting Pty Ltd titled, Environmental Noise Assessment - Proposed Sport and Recreational Centre Extension, 35-39 Hope Street Kilcoy, reference 23BRA0100 R01_2.	Prior to the commencement of the use.
	Waste	
3.14	All waste generated as part of the operation of the development must be lawfully reused, recycled or removed to a facility that can lawfully accept the waste.	At all times.
3.15	All general waste produced as part of the operation of the development must be disposed of through either: (a) The number of standard waste services as determined by Council; or (b) A private agreement with a licensed waste disposal contractor through an exemption granted by Council.	At all times.
3.16	All general waste produced as part of the operation of the development must be disposed of through either: (a) The number of standard waste services as determined by Council; or (b) A private agreement with a licensed waste disposal contractor through an exemption granted by Council.	At all times.
3.17	No waste is to be burned or buried on the subject site.	At all times.
SCHEDULE 4 – REFERRAL AGENCIES		

State Assessment and Referral Agency		
Pursuant to section 62 of the <i>Planning Act 2016</i> , the following referral agency responses have been received and are attached to the Decision Notice.		
No	Condition	Timing
4.1	Comply with the requirements of the State Assessment and Referral Agency referral agency response 2404-40219 SRA dated 11 June 2024, or as amended.	As indicated in the response.
4.2	Provide certification to Council from a suitably qualified person or the relevant agency demonstrating that the requirements of the referral agency response have been met.	Prior to the commencement of the use.
SCHEDULE 5 – ADVICE		
<i>Assessment Manager</i>		
This approval has effect in accordance with the provisions of section 71 of the <i>Planning Act 2016</i> .		
Pursuant to section 85 of the <i>Planning Act 2016</i> the approval will lapse if first change of use does not happen within the currency period – being six (6) years starting the day the approval takes effect.		
The applicant may make representations (change representations) about a matter in this development application within the applicant's appeal period under the process established in chapter 3, part 5, subdivision 1 of the <i>Planning Act 2016</i> .		
A person to make a change to this development application outside the applicant's appeal period, following the process outlined in chapter 3, part 5, subdivision 2 of the <i>Planning Act 2016</i> .		
The applicant has the right of appeal to the Planning and Environment Court regarding the conditions of this approval.		
A reference within a development condition to a "Certificate of Occupancy" includes an "Interim Certificate of Occupancy". Where a Certificate of Occupancy is not required, the reference is taken to be a "Final Inspection Certificate" or any other similar document finalising the works.		
Where the timing in a development condition requires compliance "prior to the commencement of the use" and a Plan of Subdivision is lodged for approval, the timing in the condition is taken to require compliance "prior to the commencement of the use or approval of the Plan of Subdivision, whichever occurs first".		
Parts of the Somerset Region are within Fire Ant Biosecurity Zones. If you are working with organic materials, you are legally obliged to check the fire ant biosecurity zones and use fire ant-safe practices before moving them to a new location (<i>Biosecurity Regulation 2016</i>). If you are unable to do so, you must apply for a biosecurity instrument permit. Penalties can also apply to individuals and businesses that do not use fire ant-safe practices before moving materials. It is a legal obligation to report any sighting or suspicion of fire ants within 24 hours to Biosecurity Queensland on 13 25 23. The Fire Ant Biosecurity Zones as well as general information can be viewed on the DAF website www.daf.qld.gov.au/fireants		

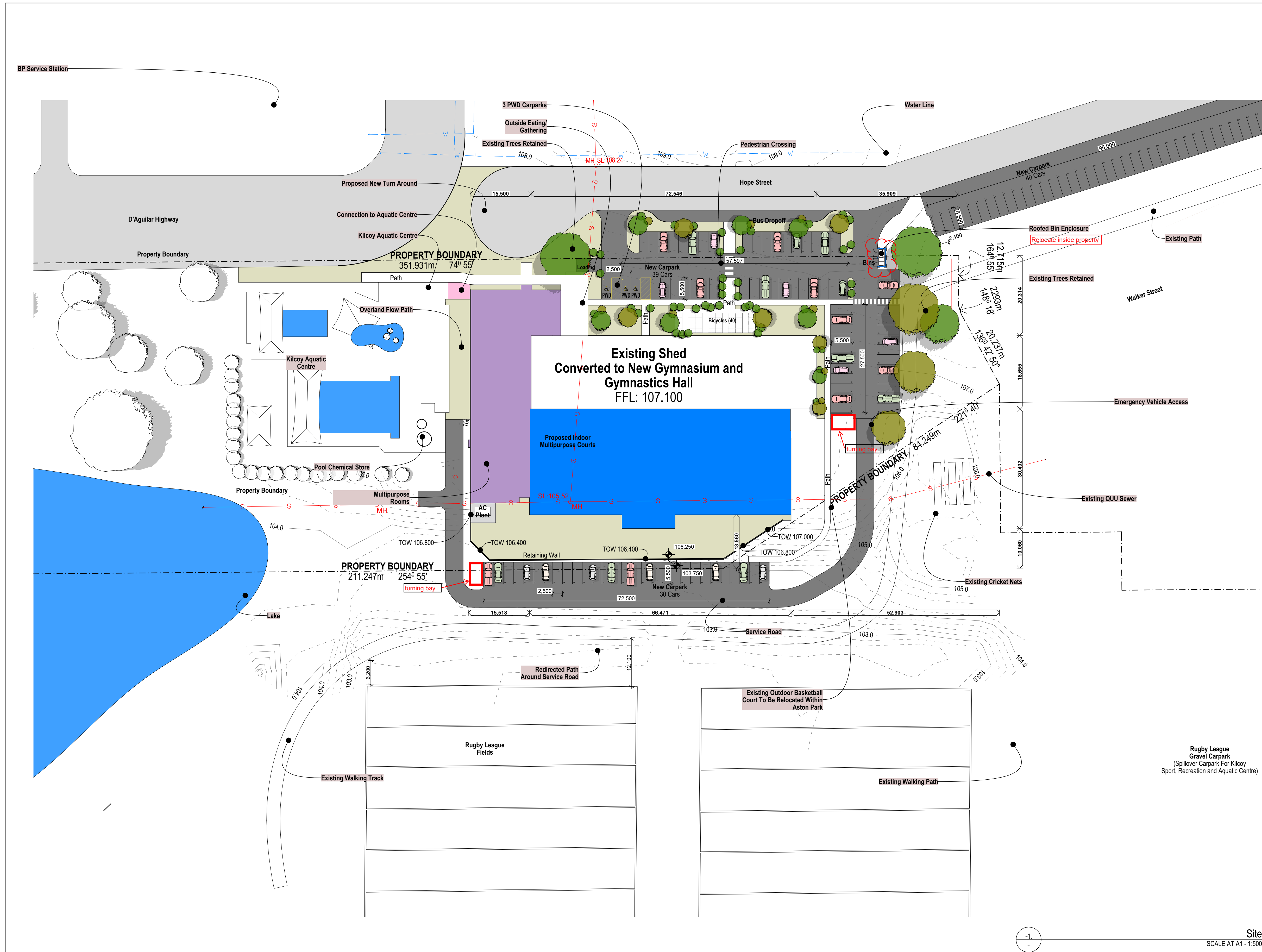
<p>The <i>Aboriginal Cultural Heritage Act 2003</i> establishes a Duty of Care for Indigenous Cultural Heritage. This applies on all land and water, including freehold land. The Cultural Heritage Duty of Care lies with the person or entity conducting an activity.</p> <p>Penalty provisions apply for failing to fulfil the Cultural Heritage Duty of Care.</p> <p>Persons proposing an activity that involves additional surface disturbance beyond that which has already occurred at the proposed site need to be mindful of the Cultural Heritage Duty of Care requirement.</p> <p>Details on how to fulfil the Cultural Heritage Duty of Care are outlined in the Cultural Heritage Duty of Care Duty Guidelines gazetted with the Act.</p> <p>Council strongly advises that you obtain a copy of the Cultural Heritage Duty of Care Guidelines and seek further information on the responsibilities of proponents under the terms of the current Aboriginal Cultural Heritage Act.</p> <p>Information about the cultural heritage duty of care is available at qld.gov.au/firstnations/environment-land-use-native-title/cultural-heritage/cultural-heritage-duty-of-care</p>
<p>An Infrastructure Charges Notice accompanies this Development Approval and Levied Charges are applicable. Details of the current value of the Levied Charge, how the Levied Charges were calculated, how the Levied Charge may be escalated, and when payment of the Levied Charge is required can be found on the Infrastructure Charges Notice or the accompanying information notice.</p> <p>From 1 July 2014, Infrastructure Charges related to the water supply and wastewater network are given by and paid to the South East Queensland Distributor-Retailer Authority, trading as Urban Utilities, and are separate from this Development Approval and the accompanying Infrastructure Charges Notice.</p> <p>Additional advice about the Infrastructure Charges Notice may be sought from Council's planning section, on (07) 5424 4000 or mail@somerset.qld.gov.au.</p>
<p>Authorisation to connect the approved development to the water supply and wastewater networks and for property service connections require a Water Approval from the South East Queensland Distributor-Retailer Authority, trading as Urban Utilities.</p> <p>For the approval of a Plan of Subdivision, written evidence from Urban Utilities must be provided to Council to verify that the conditions of any necessary Water Approval have been complied with.</p>
<p>This Development Approval for material change of use does not include an approval for the change of classification or for the commencement of building works under the <i>Building Act 1975</i>.</p> <p>A separate building development approval may be required for change of classification or commencement of building works under the <i>Building Act 1975</i>.</p> <p>Advice should be sought from a Building Certifier (either through a private certification company or through Council's building section) about further development approvals for building works.</p>
<p>This Development Approval does not authorise the installation of advertising devices. Advertising devices (other than billboards or where particular overlays apply) are governed by Council's <i>Local Law No. 1 (Administration) 2011</i> and <i>Subordinate Local Law No. 1.4 (Installation of Advertising Devices) 2011</i>.</p>

Advertising devices, other than 'permitted advertisements' (as that term is defined in the subordinate local law), require Local Law Approval prior to installation.

Attachments for the Decision Notice include:

- Site Plan, Drawing No A100 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.
- Ground Plan, Drawing No A101 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.
- Ground Floor Ceiling Plan No A102 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.
- Elevations Drawing No A103 Revision DA07, prepared by Tait Morton Johnston, dated 5 June 2024.
- Traffic Impact Statement, Job no 1679 version V2, prepared by PSA Consulting, dated 6 March 2024
- Environmental Noise Assessment, Proposed Sport and Recreation Centre Extension at 35-39 Hope Street, Kilcoy, prepared by TTM, reference 23BRA0100 R01_2, dated 31 July 2024;
- Kilcoy Indoor Sports Centre - Concept Stormwater Management Plan, prepared by GenEng Solutions, Rev 1.1, dated 22 March 2024;
- State Assessment and Referral Agency referral agency response 2404-40219 SRA dated 11 June 2024;

This completes the report for Development Application DA24827.



Schedule Of Accommodation

Foyer/Indoor Seating: 50sqm
Indoor Eating: 132sqm
Cafe/Reception: 50sqm
Kitchen: 33sqm
Admin and Meeting: 83sqm
Allied Health: 62sqm
Amenities: 50sqm
Multipurpose Rooms: 343sqm
Circulation: 130sqm
Gymnasium: 596sqm
Gymnastics: 725sqm
Multipurpose Courts Amenities: 163sqm
Multipurpose Courts: 1556sqm

Finishes schedule

Multi purpose courts
Floor - 9mm Rubber trowel on
Walls - metal sheeting, unlined, thermal insulation
Ceiling - metal sheeting, unlined, thermal insulation
Gym
Ceiling - metal sheeting, unlined, thermal insulation
Walls - 12 mm ply sheeting on battens
Floor - rubber matting (8mm Regupol)
Gymnastics
Floor - concrete, epoxy coated
Walls - metal sheeting, unlined, thermal insulation
Ceiling - metal sheeting, unlined, thermal insulation
Multi purpose
Floors - carpet
Ceilings and walls - plasterboard
Foyer and circulation
Floors - ceramic tile
Ceilings and walls - plasterboard

External Glazing / Openings

All external glazing to be a minimum 6mm Laminated
Laminated
Larger openings 10 mm laminated
ALL external openings have windows / doors to enclose them.

Conditioned Spaces

MP spaces
Gym
Foyer
Admin
Allied Health

General Notes
The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the architect.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings.

© TAIT MORTON JOHNSTON pty ltd

PROPOSED
Option 1, Kilcoy Sport and Recreation Centre
Master Plan
AT
Hope Street Kilcoy

FOR
Somerset Regional Council



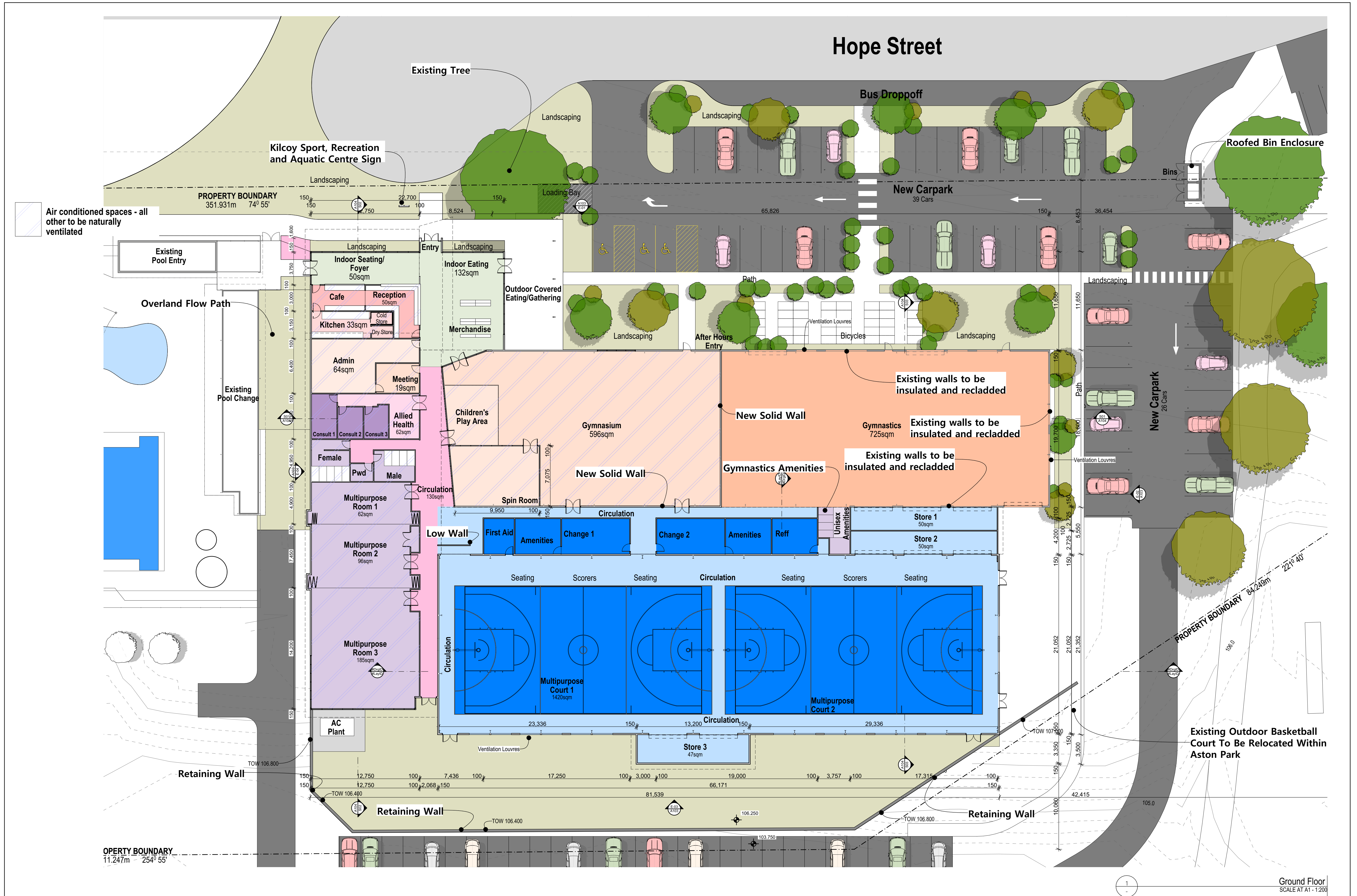
ISSUE	CHANGES	DESCRIPTION	DATE	NAME
DA04			20/02/2022	SW
DA05			24/05/2022	Connor
DA06			30/05/2022	Connor
DA07			06/06/2024	Connor

DRAWING TITLE :
Site Plan



Tait Morton Johnston Architects
P (07)3202 4400
F (07)3202 1789
E admin@tmjarchitects.com.au
A 13 Warwick Road, Ipswich, Q

ISSUE	Development Application	DRAWN BY / CHECKED BY	PJ	SHEET
DRAWING NUMBER	A100	REVISION	DA07	JOB NUMBER
				1484-1
				Plot Date: 5/06/2024



Schedule Of Accommodation

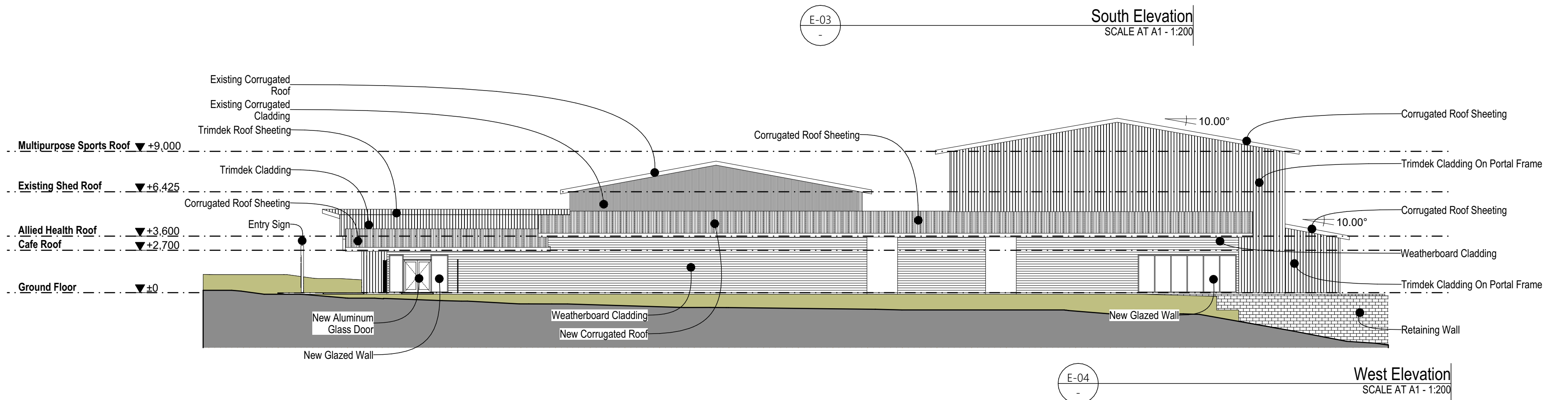
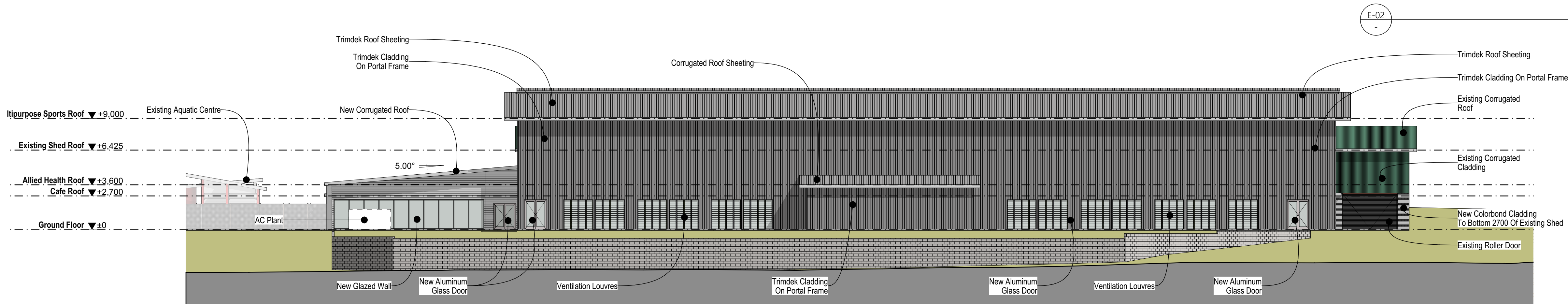
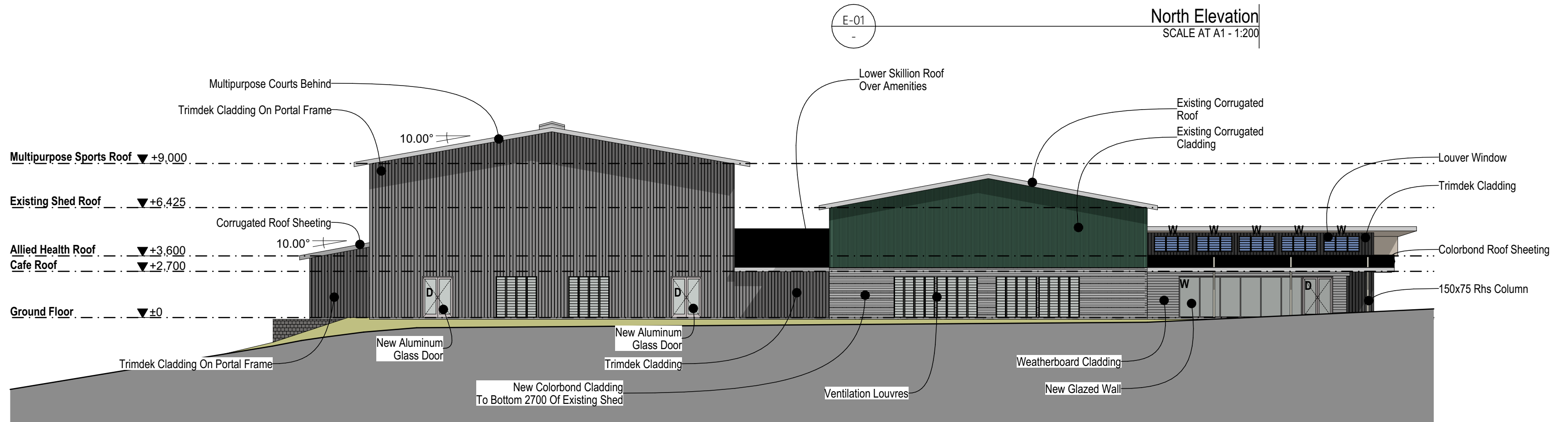
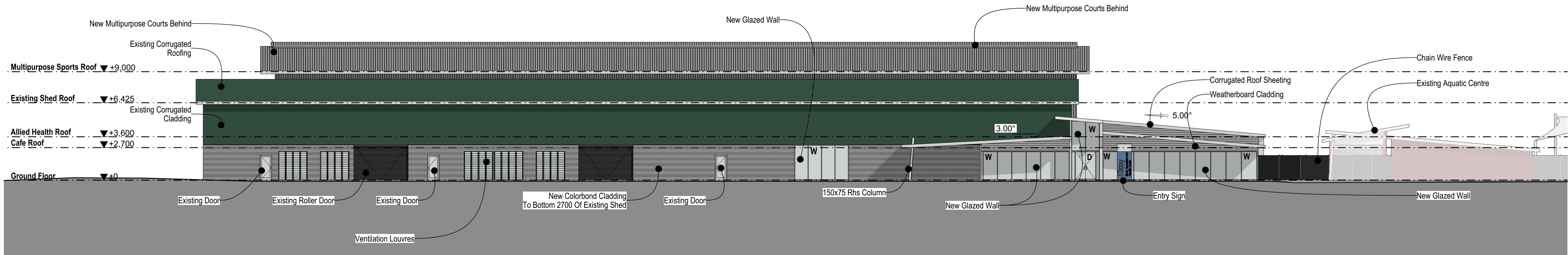
Foyer/Indoor Seating: 50sqm
Indoor Eating: 132sqm
Cafe/Reception: 50sqm
Kitchen: 33sqm
Admin and Meeting: 83sqm
Allied Health: 62sqm
Amenities: 50sqm
Multipurpose Rooms: 343sqm
Circulation: 130sqm
Gymnasium: 596sqm
Gymnastics: 725sqm
Multipurpose Courts Amenities: 163sqm
Multipurpose Courts: 1556sqm

Air conditioned spaces - all
other to be naturally
ventilated



LEGEND - Ceiling Plan
Ceiling Type Height Preview Material

Ground Floor Ceiling Plan
SCALE AT A1 - 1:200



Traffic Impact Statement

Kilcoy Indoor Sport Centre



06 March 2024





DOCUMENT CONTROL

Document: Project Name: Kilcoy Indoor Sport Centre
PSA Job Number: 1679
Report Name: Traffic Impact Statement

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REVISION HISTORY

VERSION	DATE	DETAILS	AUTHOR	AUTHORISATION
V2	6 March 2024	FINAL	Daina Ruth Aliboso	 Hannah Richardson RPEQ: 17016

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TABLE OF CONTENTS

DOCUMENT CONTROL	1
REVISION HISTORY	1
GENERAL DISCLAIMER	1
1. INTRODUCTION	1
2. EXISTING SITE AND TRANSPORT NETWORK	2
2.1 Road Network	2
2.2 Active Transport Network	2
2.3 Public Transport Network	3
3. PROPOSED DEVELOPMENT	5
3.1 Development Details.....	5
3.2 Traffic Generation And Impact	6
3.3 Car Parking, Access, and Servicing Requirements.....	6
3.3.1 Parking Supply and Demand	6
3.3.2 Parking and Access Design	7
3.3.3 Servicing.....	8
4. CONCLUSION	9

LIST OF APPENDICES

APPENDIX 1	SITE PLAN
APPENDIX 2	SWEPT PATH ANALYSIS

FIGURES

Figure 1:	Site locality (Nearmap, Tait Morton Johnston Architects)	1
Figure 2:	Road network surrounding site (Nearmap)	2
Figure 3:	Active transport network surrounding site (Nearmap)	3
Figure 4:	Public transport network surrounding site (Nearmap).....	4
Figure 5:	Proposed Development (Tait Morton Johnston Architects)	5
Figure 6:	Recommended circulation (PSA Consulting).....	8

TABLES

Table 1:	Development details (Tait Morton Johnston Architects)	5
Table 2:	Development generated traffic volume (PSA Consulting)	6
Table 3:	Parking Rates (SRPS, Disability Standards 2010)	6
Table 4:	Parking Provision Compliance (PSA Consulting).....	7
Table 5:	Parking Design Compliance (PSA Consulting)	7



LIST OF ACRONYMS

ITE	Institute of Transportation Engineers
LGA	Local Government Area
LRB	Long Rigid Bus
PSA	PSA Consulting
RTA	Roads and Traffic Authority
SRC	Somerset Regional Council
SRPS	Somerset Region Planning Scheme
SRV	Small Rigid Vehicle



1. INTRODUCTION

PSA Consulting has been engaged by ONF Surveyors to provide traffic engineering advice for the proposed redevelopment of Kilcoy Indoor Sport Centre, located at 35-39 Hope St, Kilcoy QLD 4515. The site is located within the Somerset Regional Council (SRC) local government area (LGA) and therefore the following advice is aligned with the *Somerset Region Planning Scheme* (SRPS). It is proposed that the existing shed will be converted to a gymnasium and gymnastics hall alongside upgrade of the outdoor basketball to two indoor multipurpose courts. The proposed development site plan is provided in Appendix 1.

Figure 1 shows the site in relation to the surrounding area and road network. This report has been prepared to address the impact of the proposed development with regards to active transport, public transport, parking, access, and servicing.



Figure 1: Site locality (Nearmap, Tait Morton Johnston Architects)



2. EXISTING SITE AND TRANSPORT NETWORK

2.1 ROAD NETWORK

The site is located at 35-39 Hope St, Kilcoy QLD within Somerset Regional Council (SRC) LGA. The site is bounded by D'Aguilar Highway and Hope Street to the north and by Walker Street and Seib Street to the east. The surrounding road network and hierarchy are illustrated in Figure 2. The D'Aguilar Highway is a State Controlled Road, while all other roads in the vicinity of the site are controlled by SRC.

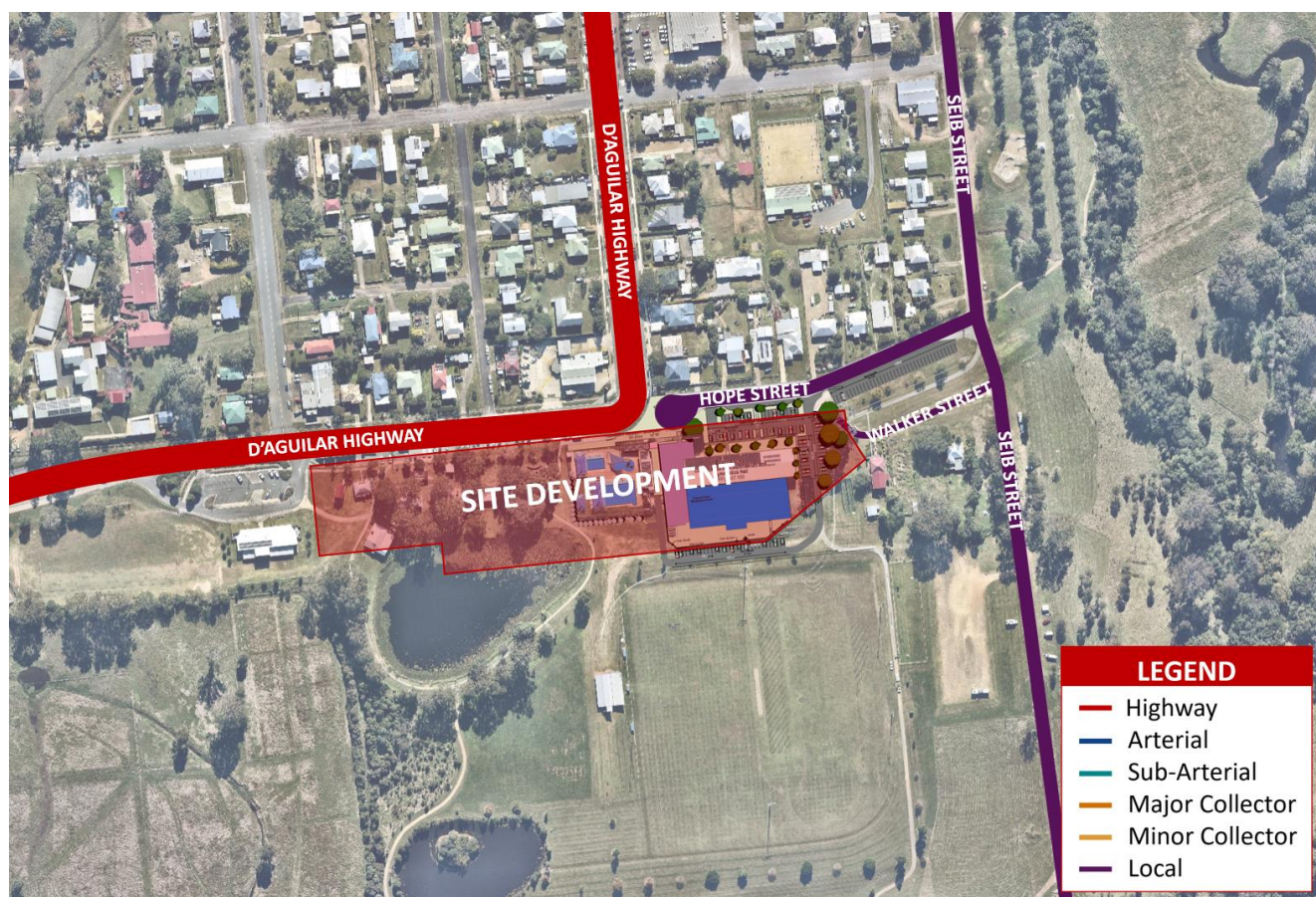


Figure 2: Road network surrounding site (Nearmap)

2.2 ACTIVE TRANSPORT NETWORK

An existing on-road bike lane is present along D' Aguilar Highway and terminates at the intersection with Dellar Street. Additionally, a pedestrian pathway is present on both sides of D'Aguilar Highway, with a signalised pedestrian crossing facility situated in front of the car parking area providing access to the Kilcoy State School. As shown in Figure 3, pedestrian pathways seamlessly interconnect the development with both on-site and off-site parking facilities, the designated pick-up/drop-off zone, and nearby public transportation facilities. This comprehensive network ensures ease of pedestrian movement and enhances accessibility for visitors and commuters alike.

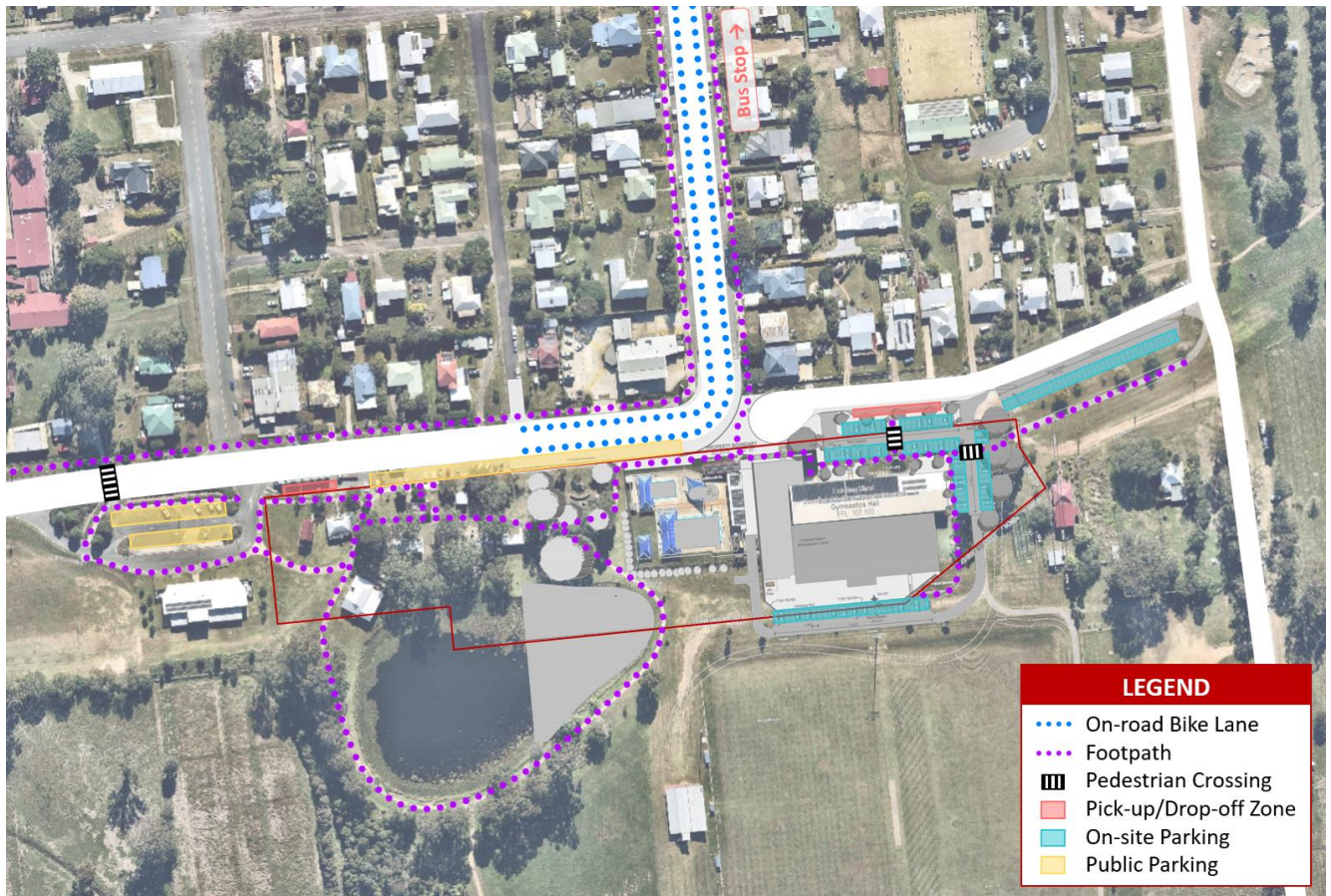


Figure 3: Active transport network surrounding site (Nearmap)

2.3 PUBLIC TRANSPORT NETWORK

The nearest Translink bus stop is located 500m away (7-minute walk) from the site main entrance, with Route 869 (Kilcoy Coach Stop – Morayfield Bus Station) servicing the surrounding road network. The access to public transport facilities from the development and public transport network is illustrated in Figure 4.



Figure 4: Public transport network surrounding site (Nearmap)



3. PROPOSED DEVELOPMENT

3.1 DEVELOPMENT DETAILS

The proposed development involves conversion of the existing shed to a gymnasium and gymnastic hall and upgrade of the outdoor basketball to two indoor multipurpose courts. In addition, the proposed development will improve the amenity of the sites, through upgrade of the access and addition of new car parks. The full development details are outlines in Table 1.

The development main vehicular accesses are located in front of Hope Street. Figure 5 shows the proposed development plan. Full details of the site plan are presented in Appendix 1.



Figure 5: Proposed Development (Tait Morton Johnston Architects)

Table 1: Development details (Tait Morton Johnston Architects)

Land Use	Area
Gymnasium	1433
Foyer / Indoor Seating	50
Allied Health	62
Gymnasium	596
Gymnastics	725
Restaurants	215
Indoor Eating	132
Café / Reception	50



Kitchen	33
Multipurpose Recreational Facility	2325
Admin and Meeting	83
Amenities	50
Circulations	130
Multipurpose Rooms	343
Multipurpose Court Amenities	163
Multipurpose Courts	1556

3.2 TRAFFIC GENERATION AND IMPACT

The estimated site traffic generation has been calculated for the proposed development using the New South Wales Roads and Traffic Authority (RTA) *Guide to Traffic Generating Developments 2002* and Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. Table 2 outlines the trip generation by each component of the development.

Table 2: Development generated traffic volume (PSA Consulting)

Land Use	Reference	Peak Hour Rate	GFA	Peak Hour Trip
Gymnasium	RTA	9 trips per 100 m ² GFA	1433	129
Restaurant	RTA	5 trips per 100 m ² GFA	215	11
Multipurpose Recreational Facility	ITE	3.58 trips per 92.9 m ² GFA	2325	90
Total			3973	230

The addition of the above proposed 230 trips is a conservatively high figure. Given the existing use of the site, it is not expected that the proposed upgrade of the facilities will have an adverse impact on the local transport network.

3.3 CAR PARKING, ACCESS, AND SERVICING REQUIREMENTS

3.3.1 Parking Supply and Demand

The *Somerset Region Planning Scheme (SRPS)* specifies the minimum on-site parking requirements for car and bicycle parking and the *Disability (Access to Premises – Buildings) Standards 2010* specifies the minimum designated PWD parking requirements as outlined in Table 3.

Table 3: Parking Rates (SRPS, Disability Standards 2010)

Car Parking	Car Parking (PWD)	Bicycle Parking
1 space per 20 m ² GFA	1 space per 100 car spaces	1 space per 100 m ² GFA, if ≥ 400 m ² GFA

Additionally, Table 4 summarizes the number of car and bicycle spaces of the development against the parking requirements.



Table 4: Parking Provision Compliance (PSA Consulting)

Vehicle	Reference	Requirement	Development	Compliant? Y/N
Car	SRPS	230	133	N
Car (PWD)	Disability Standards 2010	2	2	Y
Bicycle	SRPS	40	40	Y

As indicated in Table 4, the development is compliant with PWD and bicycle parking requirements but fall short of the proposed parking requirement by 97 car parking spaces. Considering the rural location of the development, with a population less than 2,500 people, it is noteworthy that despite this shortfall, the available car parking spaces will exceed the actual demand of the development. Additionally, the inclusion of a designated bus drop-off area for visitors will reduce the demand for car parking spaces. Furthermore, the reduced number of car parking spaces will promote sustainable mode of travel, encouraging visitors to utilize existing walking, cycling, and public transportation options.

It is also noted that the proposed provision of parking spaces is an improvement on the existing provision of 27 on-street parking spaces on Hope Street. The large increase in provision of parking in comparison to the proportional increase in facilities and proposed demand is expected to result in an overall significant net improvement for parking in the vicinity of the site. Should overflow parking occur, there is a significant amount of on and off-street parking available nearby at the Visitor Information Centre and along Hope Street and the D'Aguilar Highway.

3.3.2 Parking and Access Design

A design assessment for the car parking and access has been conducted in accordance with *AS2890.1:2004 Part 1: Off-street parking* and *AS2890.6:2022 Part 6: Off-street parking for people with disabilities*. A summary of the assessment is provided below in Table 5.

Table 5: Parking Design Compliance (PSA Consulting)

Design Aspect	Reference	Requirement	Development	Compliant? Y/N
Driveway	AS2890.1			
Entry Width		6m	6.2m	Y
Exit Width		4m – 6m	6.5m	Y
Separation		1m – 3m	57m	Y
Parking Bay	AS2890.1			
Width		2.5m	2.5m	Y
Length		5.4m	5.5m	Y
PWD (Dedicated & Shared)	AS2890.6			
Width		2.4m	2.5m	Y
Length		5.4m	5.5m	Y
Parking Aisle	AS2890.1	5.8m	6.0m – 6.4m	Y



Design Aspect	Reference	Requirement	Development	Compliant? Y/N
Circulation Roadway	AS2890.1			
Straight one-way		3.0m	4.5m	Y
Curved		3.6m	4.5m	Y

The AS2890.1:2004 and AS2890.6:2022 standards indicate that all car parking design aspects are compliant with their respective standard. To ensure seamless vehicle circulation within the development, it is recommended to designate the eastern cross-over as the entrance and the western cross-over as the exit. The recommended circulation within the development is illustrated in Figure 6. This aims to enhance traffic flow and ensure efficient movement of vehicles within the development.

A pedestrian pathway has been proposed to be provided across the eastern parking aisle to provide seamless pedestrian pathway connectivity through and across the site for both people accessing the centre, and for people continuing through along Hope Street.

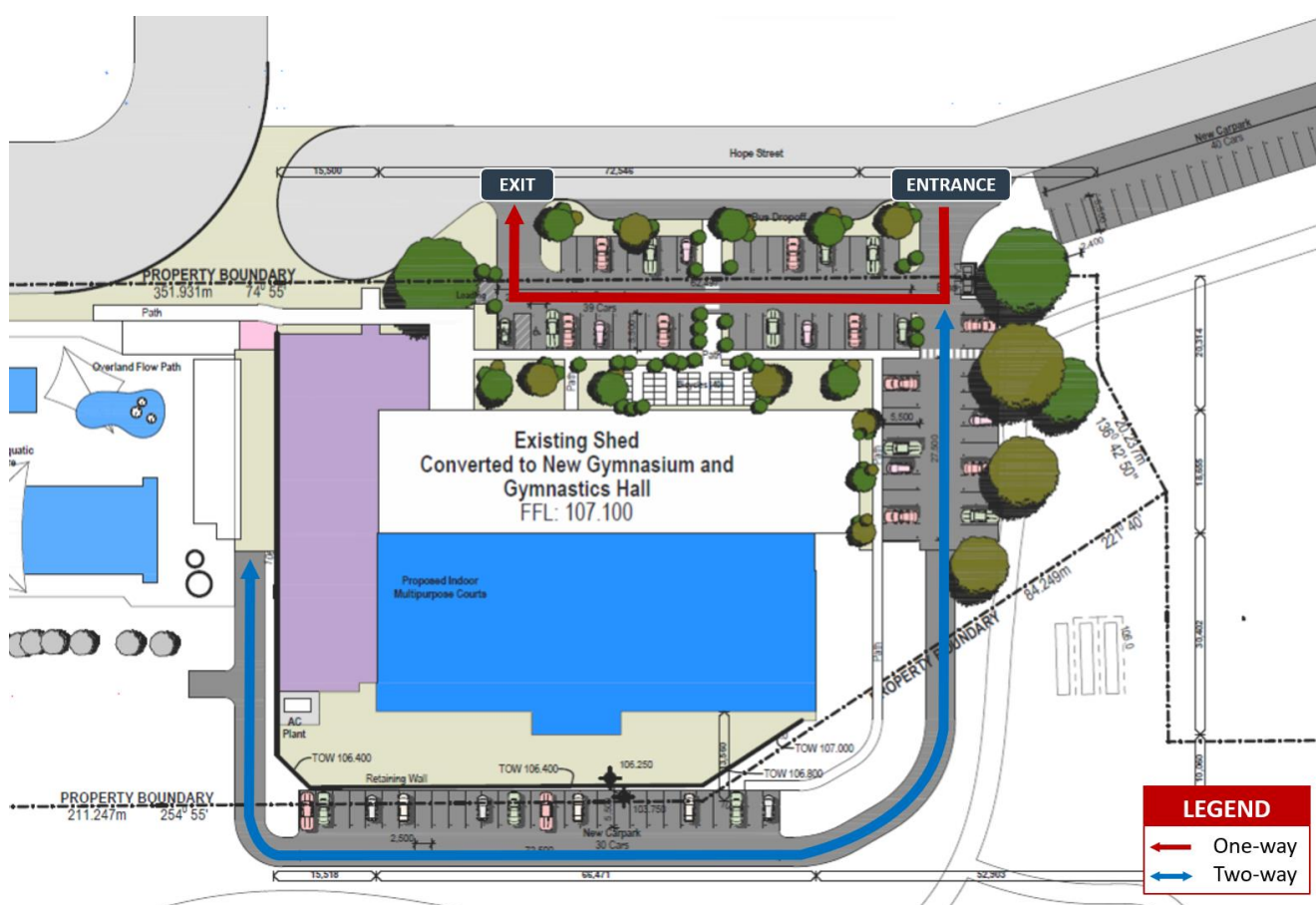


Figure 6: Recommended circulation (PSA Consulting)

3.3.3 Servicing

In accordance with the *Somerset Region Planning Scheme*, there is no mandated minimum service vehicle requirement for indoor sport and recreation land use. However, due to the presence of a café within the development, the minimum service vehicle requirement designated for food and drink outlet, which is a small rigid vehicle (SRV), has been provided for. To demonstrate the suitability of the driveway width and angle, a swept path analysis has been conducted to illustrate that SRV is able to manoeuvre in and out of the proposed car park without impeding on the driveway kerbs.



Additionally, a swept path analysis was also conducted to assess the accessibility of the provided bus drop-off area. The analysis utilized a long rigid bus (LRB), measuring 14.5 meters, as it represents the largest among typical buses (ie a typical coach). It was observed that both the SRV and LRB can access the loading bay and bus drop-off area, respectively, without encountering any conflict. It is recommended for buses larger than a midi-bus (9m in length) to manoeuvre in reverse at the cul-de-sac when turning around. The full details of the swept path analysis are shown in Appendix 2.

4. CONCLUSION

The key findings from the preliminary traffic impact statement for the proposed development are outlined as follows:

- The proposed development works will involve the conversion of the existing shed to a gymnasium and gymnastic hall and upgrade of the outdoor basketball to two indoor multipurpose courts.
- *The Somerset Region Planning Scheme* recommends the development to provide 230 car parking spaces and 40 bicycle parking spaces
- The development provides 133 car parking spaces, 2 designated PWD parking spaces, and 40 bicycle parking spaces, representing a shortfall in parking spaces of 97 spaces.
- The proposed provision of 133 parking spaces is a much larger proportional increase in parking spaces from the 27 on-street spaces provided at present, in comparison to the conversion and upgrade of land use proposed. It should be noted that the available car parking spaces are expected to exceed the actual demand of development, with a vast supply of overflow parking available on-street nearby.
- *Disability Standards 2010* recommends the development to provide 2 designated persons with disability (PWD) parking spaces which are provided in close proximity to the access to the facility.
- A review of the *AS2890.1:2004* and *AS2890.6:2022* standards has demonstrated that all car parking design aspects are compliant with their respective standard.
- The recommended circulation within the development is illustrated in Figure 6, with a one-way entry and exit cross-over provided.
- The swept path analysis shows that the anticipated largest vehicle, SRV, is able to manoeuvre in and out of the development without impeding on the driveway kerbs.
- Moreover, the largest bus, LRB, is able to access the bus drop-off area without encountering any conflict. It is recommended for buses larger than a midi-bus (9m in length) to manoeuvre in reverse at the cul-de-sac when turning around.



APPENDIX 1 SITE PLAN

AP01



Schedule Of Accommodation

Foyer/Indoor Seating: 50sqm
Indoor Eating: 132sqm
Cafe/Reception: 50sqm
Kitchen: 33sqm
Admin and Meeting: 83sqm
Allied Health: 62sqm
Amenities: 50sqm
Multipurpose Rooms: 343sqm
Circulation: 130sqm
Gymnasium: 596sqm
Gymnastics: 725sqm
Multipurpose Courts Amenities: 163sqm
Multipurpose Courts: 1556sqm

Finishes schedule

Multi purpose courts
Floor - 9mm Rubber trowel on
Walls - metal sheeting, unlined, thermal insulation
Ceiling - metal sheeting, unlined, thermal insulation
Gym
Ceiling - metal sheeting, unlined, thermal insulation
Walls - 12 mm ply sheeting on battens
Floor - rubber matting (8mm Regupol)
Gymnastics
Floor - concrete, epoxy coated
Walls - metal sheeting, unlined, thermal insulation
Ceiling - metal sheeting, unlined, thermal insulation
Multi purpose
Floors - carpet
Ceilings and walls - plasterboard
Foyer and circulation
Floors - ceramic tile
Ceilings and walls - plasterboard

External Glazing / Openings

All external glazing to be a minimum 6mm Laminated
Larger openings 10 mm laminated
ALL external openings have windows / doors to

Conditioned Spaces

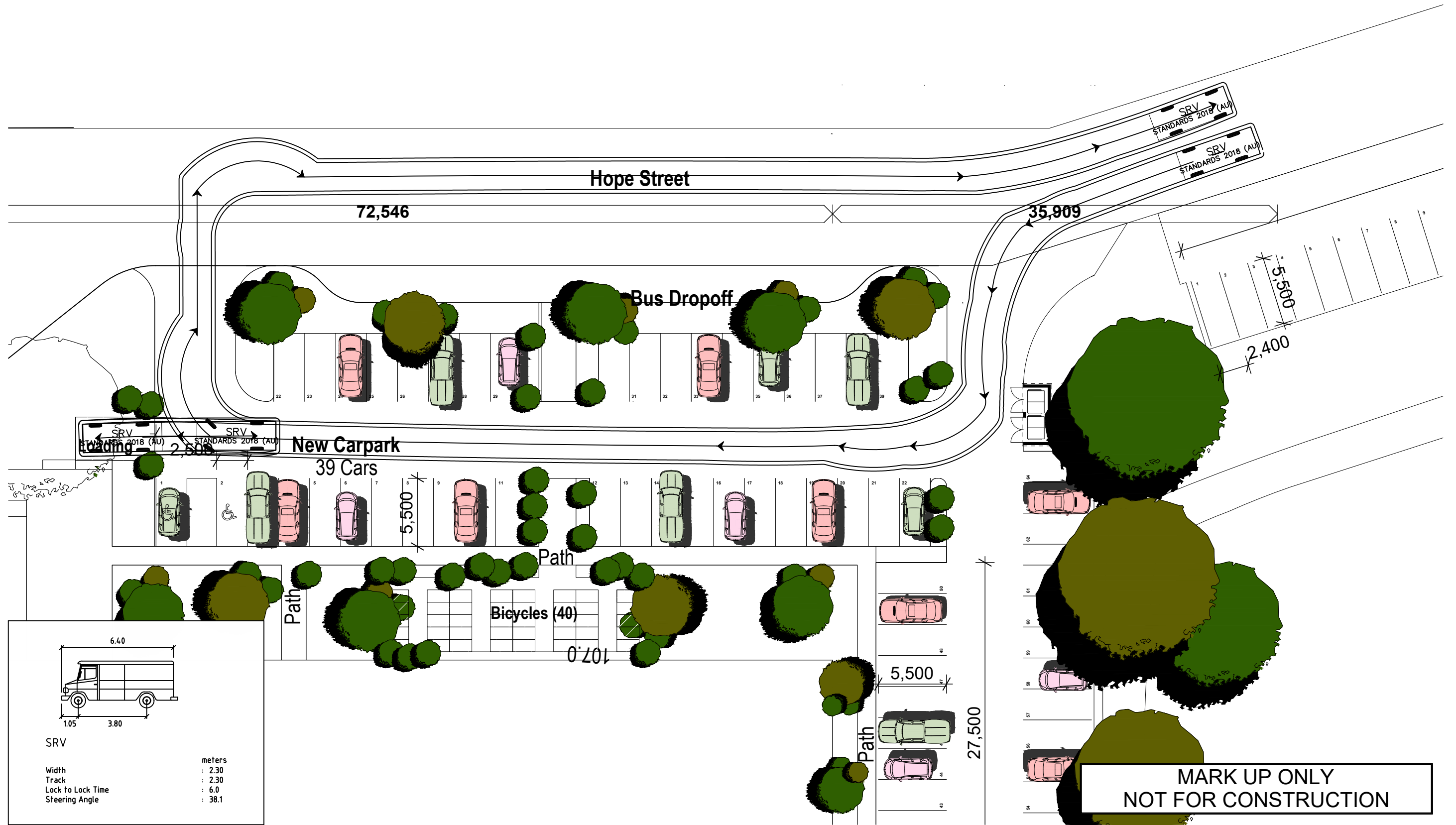
MP spaces
Gym
Foyer
Admin
Allied Health



APPENDIX 2 SWEPT PATH ANALYSIS

AP02

- SK01 - Small Rigid Vehicle (SRV) parking in loading bay
- SK02 - Long Rigid Bus (LRB) parking in bus drop-off area
- SK03 - Midi-Bus parking in bus drop-off area



REVISION	DESCRIPTION	BY	DATE
1	ORIGINAL ISSUE	D.A	01.03.2024



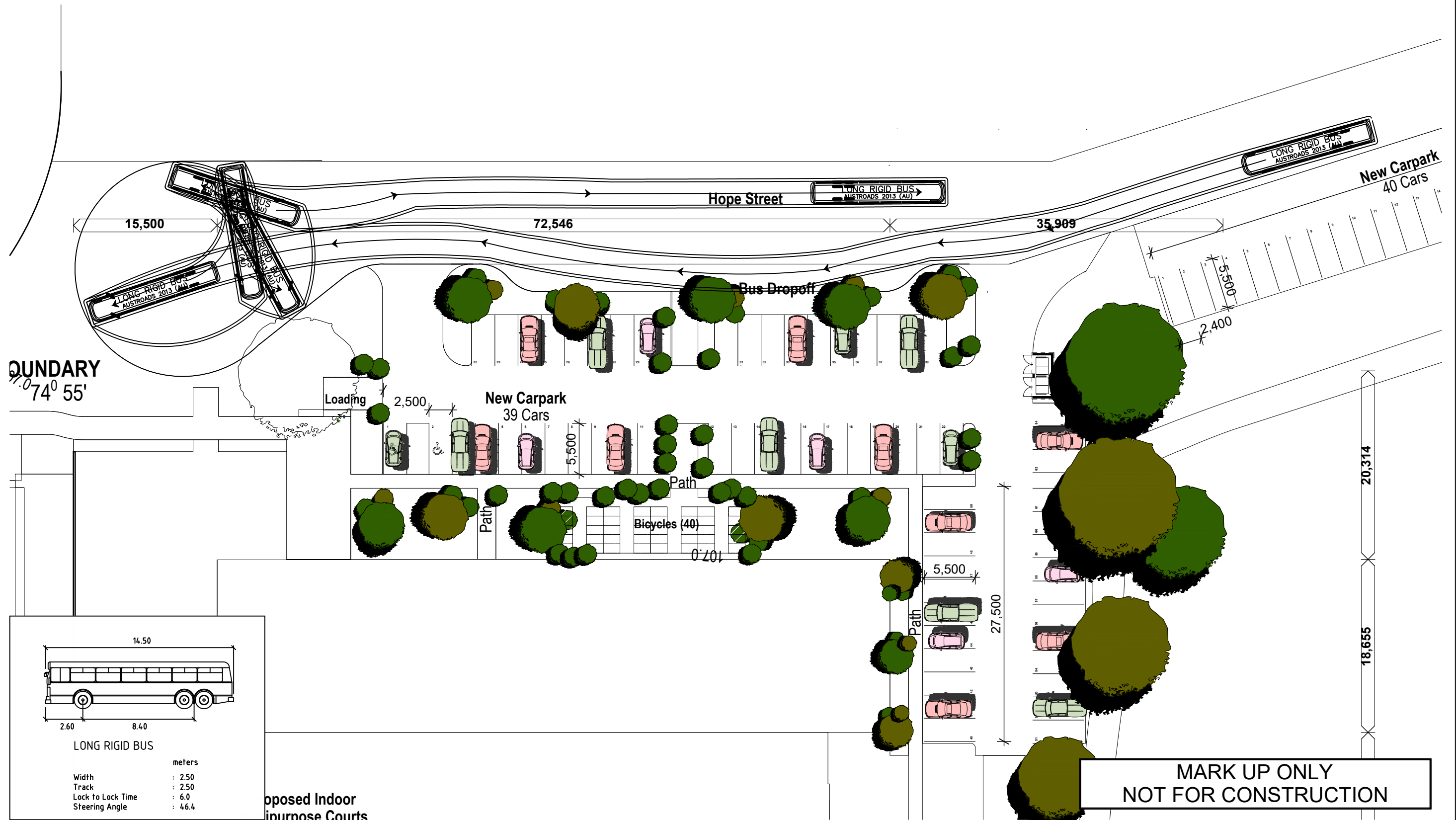
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DRAWING TITLE
CLIENT
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LOCATION

SWEPT PATH ANALYSIS - SMALL RIGID VEHICLE
ONF SURVEYORS
KILCOY INDOOR SPORT CENTRE
21 HOPE STREET, KILCOY, QLD 4515

DRAWING DATE	MARCH 2024	DRAWN BY	D.A
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DRAWING TITLE
CLIENT
PROJECT
LOCATION

SWEPT PATH ANALYSIS - LONG RIGID BUS
ONF SURVEYORS
KILCOY INDOOR SPORT CENTRE
21 HOPE STREET, KILCOY, QLD 4515

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DRAWING TITLE
CLIENT
PROJECT
LOCATION

SWEPT PATH ANALYSIS - MIDI-BUS
ONF SURVEYORS
KILCOY INDOOR SPORT CENTRE
21 HOPE STREET, KILCOY, QLD 4515

DRAWING DATE	MARCH 2024	DRAWN BY	D.A
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Environmental Noise Assessment

Proposed Sport and Recreation Centre Extension

At 35-39 Hope Street, Kilcoy

On behalf of ONF Surveyors

23BRA0100 R01_2



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Revision Record

No.	Author	Reviewed/Approved	Description	Date
A	A Ashworth	S Yorke	Internal draft	23/02/2024
0	A Ashworth	S Yorke	Client issue	23/02/2024
1	A Ashworth		Updated Plans	05/03/2024
2	A Ashworth	S Yorke	Update for information request	31/07/2024

Executive Summary

TTM was engaged by ONF Surveyors to undertake an environmental noise assessment of proposed indoor recreation use located at 35-39 Hope Street, Kilcoy.

The noise impact from expected onsite noise activities was assessed in accordance with the Somerset Regional council planning scheme and noise criteria of the Environmental Protection (Noise) Policy 2008 (EPP2008) as well as to address the Somerset Regional Council information request (reference DA24827, dated 3 May 2024).

The significant recommendations made were as follows:

- External wall construction for the multipurpose courts, gymnasium and gymnastics hall to achieve a minimum acoustic rating of R_w23 .
- All ventilation louvres for the multipurpose courts should be closed between 10pm and 7am.
- Waste collection, deliveries and outdoor dining should not occur between 10pm and 7am.
- A 1.8m acoustic fence along part of the eastern boundary of the car park is recommended

Further recommendations are outlined in Section 7.

The proposed development is predicted to comply with the Somerset Regional Council planning scheme requirements, based on the analysis and recommendations outlined in Section 7 of this report.

Council Information Request (reference DA24827, dated 3 May 2024)

7. An acoustic report has been lodged as a part of the application. Please confirm the level of confidence that elevated RBL L90 levels (46 day, 40 evening, 40 night) are dominated by traffic noise from the D'Aguilar Highway and not from other sources such as mechanical plant noise or insect noise.

TTM response to item 7

- Ambient noise affected by mechanical noise would show graphically as a flat line with all descriptors close together. This is not the case.
- No mechanical plant noise was observed when onsite during logger drop off / pick up.
- Insect noise shown graphically generally shows a series of high peaks. This is present around 6.45pm however it does cease by 7.30pm. As the RBL is determined by the L90 over the lowest 10% of the time, any insect noise in this period is likely to have minimal impact on the RBL value.

- Based on observations onsite, the ambient environment is comprised of distant traffic noise, passing vehicles and bird life in the parkland
- TTM has removed the insect noise peaks (at approximate 7pm), as well as any unexplainable evening and night time peaks from the logging data, and reprocessed the RBL L90 levels.

8. It is noted (3.1) that the following parts of the proposal are to be operated in the nighttime period:

- a. Multipurpose courts – 6am to 9pm.*
- b. Gymnasium – 24 hour per day.*
- c. Café, multipurpose rooms and healthcare rooms – 6am to 9pm.*

Please provide an assessment of sleep disturbance, particularly for short term duration noises such as shutting of car doors in the car parks. An appropriate criteria is the World Health Organisation Guideline for Community Noise 1999. Consideration should also be given to the existing acoustic environment in the night time period.

TTM response to item 8

- TTM has updated the assessment to provide a sleep disturbance assessment to the World Health Organisation Guideline for Community Noise 1999.
- Based on the information request, recommendations (outlined in Section 7) have been updated to include
 - Deliveries should not occur between 10pm and 7am.
 - A 1.8m acoustic fence along part of the eastern boundary of the car park is recommended

Contents

Executive Summary	2
1 Introduction	6
1.1 Background	6
1.2 References.....	6
1.3 Scope.....	6
2 Site Description	7
2.1 Site Location	7
2.2 Current Site Conditions	7
3 The Proposed Development	8
3.1 Development Description.....	8
4 Measurements	9
4.1 Equipment.....	9
4.2 Unattended Noise Monitoring	9
4.3 Results of Noise Measurements.....	10
4.3.1 Ambient Noise Levels	10
5 Noise Criteria	11
5.1 Acoustic Quality Objectives	11
5.2 Background Creep	11
5.3 WHO - Guideline for Community Noise – Sleep Disturbance	12
6 Analysis – Onsite Noise	13
6.1 Noise Sensitive Receivers	13
6.2 Noise Source Levels.....	14
6.2.1 Internal Noise	14
6.3 Assessment Parameters	15
6.4 Predicted Noise Levels at Receivers	17
6.4.1 Acoustic Quality Objectives	17
6.4.2 Background Creep	17
6.4.3 WHO - Guideline for Community Noise – Sleep Disturbance	19
6.5 Preliminary Mechanical Plant Assessment	20
7 Recommendations	21

7.1	Building Attenuation	21
7.2	Management Strategies	21
7.3	Acoustic Barrier (Fence)	22
8	Conclusion.....	23
Appendix A	Development Plans.....	24
Appendix B	SoundPLAN Results.....	27
Appendix C	Internal Calculations.....	30
Appendix D	Unattended Noise Monitoring Graphs.....	33

Table Index

Table 1: Measured Ambient Noise Levels	10
Table 2: Recreational Activities Code.....	11
Table 3: Acoustic Quality Objectives at Noise Sensitive Receivers	11
Table 4: Background Creep Noise Limits at Noise Sensitive Properties (EPP2008).....	12
Table 5: World Health Organisation Guideline for Community Noise – Sleep Disturbance.....	12
Table 6: Typical Noise Sources Associated with the Development	14
Table 7: Internal Noise Sources.....	14
Table 8: Predicted Noise Levels - Acoustic Quality Objective Criteria	17
Table 9: Predicted Noise Levels - Background Creep Criteria	17
Table 10: World Health Organisation Guideline for Community Noise – Sleep Disturbance.....	19
Table 11: Mechanical Plant Predictions	20

Figure Index

Figure 1: Site Locality	7
Figure 2: Site plan	8
Figure 3: Noise Monitoring Location.....	9
Figure 4: Noise Sensitive Receivers	13
Figure 5: Noise Activity Locations	16
Figure 6: Noise Contour Plot L_{eq} – Day / Evening	18
Figure 7: Noise Contour Plot L_{eq} – Night	18
Figure 8: Noise Contour Plot L_{eq} – Sleep Disturbance.....	19
Figure 9: Mechanical Plant Location	20
Figure 10: Recommended Acoustic Barrier – Indicative	22

1 Introduction

1.1 Background

TTM was engaged by ONF Surveyors to undertake an environmental noise assessment of proposed indoor recreation use located at 35-39 Hope Street, Kilcoy. This report will form part of the development application for consideration by Somerset Regional Council.

1.2 References

This report is based on the following:

- Somerset Regional *Planning Scheme V4.2* – dated 17 December 2021
- Somerset Regional Council information request – reference DA24827, dated 3 May 2024.
- Environmental noise criteria contained in the *Environmental Protection (Noise) Policy 2019* (EPP2019)
- Somerset Regional Council Prelodgement Advice – dated 30 March 2023
- Development plans shown in Appendix A
- Analysis and calculations conducted by TTM

1.3 Scope

The assessment includes the following:

- Description of the site.
- Measurement of existing ambient noise levels
- Statement of assessment criteria relating to environmental noise emissions.
- Assessment of noise generated by the development onto nearby sensitive receivers.
- Analysis of predicted noise levels.
- Details of noise control recommendations to be incorporated to achieve predicted compliance as required.

2 Site Description

2.1 Site Location

The site is described by the following:

- 35-39 Hope Street, Kilcoy

The site locality is shown in Figure 1.

Figure 1: Site Locality



2.2 Current Site Conditions

The site is bound by Hope Street to the north, recreational zoned land and residential dwellings to the east, recreational zoned land with recreational facilities to the south and west. The current acoustic environment at the development location is primarily comprised of noise from current recreational facilities and road traffic noise from the D'Aguilar Highway.

4 Measurements

4.1 Equipment

The following equipment was used to measure existing noise levels:

- ARL EL315 environmental noise monitor (SN# 315-302-489)
- Norsonic 131 sound level meter (SN# 1313158)
- RION NC-73 acoustical calibrator (SN# 10697023)

All equipment was calibrated by a National Association of Testing Authorities (NATA) accredited laboratory. The equipment was field calibrated before and after the measurement session. No significant drift from the reference signal was recorded.

4.2 Unattended Noise Monitoring

Unattended noise monitoring was conducted to establish the existing ambient noise levels between Monday 22nd to Tuesday 30th January, 2024. The noise monitor was located as shown in Figure 3. The monitor position was considered representative of the ambient noise levels experienced at the site and surrounds with consideration to access and security requirements.

Figure 3: Noise Monitoring Location



The ambient noise monitor was in a free-field location and 1.5m above ground level. The monitor was set to measure statistical noise levels in 'A'-weighting, 'Fast' response, over 15 minute intervals. Ambient noise levels were measured in accordance with Australian Standard AS1055:2018 *Acoustics – Description and Measurement of Environmental Noise* (AS1055).

Weather during the monitoring period was mixed with significant rainfall (>5mm/day) recorded during the logging period on the 26 - 30th January, these days were discarded from the analysis (source: Bureau of Meteorology, Gregors Creek Station 40989). Insect noise (at approximately 7pm) and unexplained evening / night time peaks have been excluded from the analysis. Graphical presentation of the measured levels is shown in Appendix D

4.3 Results of Noise Measurements

4.3.1 Ambient Noise Levels

Table 1 presents the measured ambient noise levels. The Rating Background Level (RBL) was calculated as the 10th percentile average of all non-weather affected periods. Graphical presentation of the measured levels is shown in Appendix D. The measurement results were used to determine the assessment criteria for the development. Unexplained peaks during evening and night time periods were removed to ensure the assessment was conservative.

Table 1: Measured Ambient Noise Levels

Time Period	Measured Noise Levels, dB(A)	
	RBL L ₉₀	L _{eq}
Daytime (7am – 6pm)	46	59
Evening (6pm – 10pm)	39	47
Night time (10pm – 7am)	39	46

5 Noise Criteria

The primary performance outcomes relating to acoustics within the recreational activities code from the Somerset Regional Planning Scheme are shown in Table 2.

Table 2: Recreational Activities Code

Performance Outcomes	Acceptable Outcomes
PO7 Uses do not generate or emit noise, odour, smoke, ash or other particulate emissions that would cause environmental harm or environmental nuisance.	AO7 No acceptable outcome provided.

Somerset Regional Planning Scheme specifies the *Environmental Protection (Noise) Policy 2008* (EPP2008) acoustic criteria in other sections of the policy therefore this environmental noise criteria was used for the assessment.

5.1 Acoustic Quality Objectives

Table 3 presents the acoustic quality objectives (AQO) at noise sensitive receivers as detailed in Schedule 1 of the EPP2008.

Table 3: Acoustic Quality Objectives at Noise Sensitive Receivers

Sensitive Receiver	Time of Day	Acoustic Quality Objectives, dB(A)		
		L _{Aeq,adj,1hr}	L _{A10,adj,1hr}	L _{A1,adj,1hr}
Dwelling (Outdoors)	Day and Evening (7am – 10pm)	50	55	65
Dwelling (Indoors)	Day and Evening (7am – 10pm)	35	40	45
	Night (10pm – 7am)	30	35	40

5.2 Background Creep

This criterion is to prevent background noise progressively increasing or creeping higher over time with the establishment of new developments in a locality. EPP2008 states that:

1. This section states the management intent for an activity involving noise.
2. To the extent that it is reasonable to do so, noise from an activity must not be—
 - for noise that is continuous noise measured by L_{A90,T}—more than nil dB(A) greater than the existing acoustic environment measured by L_{A90,T}; or

- for noise that varies over time measured by $L_{Aeq,adj,T}$ —more than 5dB(A) greater than the existing acoustic environment measured by $L_{A90,T}$.

In accordance with the Environmental Protection Regulation 2008, the time period (T) is considered to be a time interval of at least 15 minutes.

The Background Creep criteria for Location 1 for steady-state and transient noise sources are stated in Table 4 .

Table 4: Background Creep Noise Limits at Noise Sensitive Properties (EPP2008)

Time Period	Steady-State Noise Emission Criteria, dB(A)	Time Varying Noise Emission Criteria, dB(A)
	$L_{A90,T}$	$L_{Aeq,T}$
Day (7am – 6pm)	46	51
Evening (6pm – 10pm)	39	44
Night (10pm – 7am)	39	44

5.3 WHO - Guideline for Community Noise – Sleep Disturbance

This World Health Organisation Guideline for Community Noise 1999, Section 4.2.3 Sleep Disturbance effects gives the following guideline values for night time L_{Aeq} and L_{Amax} noise level and are stated in Table 4 .

Table 5: World Health Organisation Guideline for Community Noise – Sleep Disturbance

Sensitive Receiver	Internal Night Time Noise Emission Criteria, dB(A)	
	$L_{Aeq,adj,8hr}$	L_{Amax}
Dwelling (Indoors)	30 (Same as EPP AQO)	45

6 Analysis – Onsite Noise

An assessment of on-site activities associated with the proposed development was conducted to determine potential impacts at the nearest noise sensitive receivers.

6.1 Noise Sensitive Receivers

This assessment will focus on the nearest noise sensitive receivers as outlined below and shown in Figure 4. If compliance can be achieved at these nearest receivers, then all remaining noise sensitive locations are expected to comply.

- Receiver 1: Residential dwellings located to the north of the site.
- Receiver 2: Residential dwellings located to the east of the site.

Figure 4: Noise Sensitive Receivers



6.2 Noise Source Levels

Table 6 presents the typical transient noise sources associated with the development with the potential to impact the nearest sensitive receivers. The noise source levels were calculated to one metre and include corrections for tonality and impulsiveness as per AS1055. The number of events was estimated for a 'peak' one-hour time period providing a 'worst case scenario' applied to all time periods.

Table 6: Typical Noise Sources Associated with the Development

Noise Source Description	SWL, dB(A)		Measured Duration (sec)	Events per 'peak hour' Day, Eve / Night
	L _{Aeq,T}	L _{Amax}		
Car door close	83*	91*	2	270 / 270
Car pass-by	77	N/A^	6	135 / 135
Car engine start	80	82	3	135 / 135
Conversation – Outdoors	73	N/A^	60	25% / 25%
Outdoor Dining	83	N/A^	60	100% / 0
Waste collection	101	113	40	1 / 0
Deliveries	93	96	60	1 / 0

*Includes 2dB(A) adjustment to account for impulsiveness characteristics in accordance with AS1055.

^L_{Amax} assessment only applies to impulsive noises (impact, beeping, door closing etc). People noise, vehicle pass-by and continuous noise is excluded from L_{max} assessment.

6.2.1 Internal Noise

The multipurpose court and gymnasium / gymnastics buildings are expected to generate internal noise from patrons and amplified music. Table 7 lists internal noise sources. In the multipurpose court and gymnasium / gymnastics areas, amplified sound or background music is expected to be up to 3dB louder than patron noise.

Table 7: Internal Noise Sources

Building	Noise Source Description	SWL dB(A)	Events per 'peak hour' / duration Day, Eve / Night
		L _{Aeq,T}	
Multipurpose Court	Crowd (100 patrons)	94	100% / 100%
	Shouting	92	100% / 100%
	Amplified sound	97	100% / 100%
Gymnasium	Crowd (50 patrons)	89	100% / 100%
	Shouting	92	25% / 25%
	Amplified sound (background music)	92	100% / 100%
Gymnastics	Crowd (50 patrons)	89	100% / 0
	Shouting	92	50% / 0
	Amplified sound (background music)	92	100% / 0

An internal, reverberant noise level was calculated based on the internal volume (m³) of the building (calculation in Appendix C). Internal noise emissions were included in the noise model based on the calculated reverberant noise level emission and the following parameters:

- Noise emission through all building façades (walls and roof)
- All external openings (roller shutters, door, window) in the open position for day and evening assessment and closed for night time assessment.
- The facades of the building are constructed of:
 - **Multipurpose Courts**
 - Roof: profiled metal, minimum R1.5 insulation (R_w23)
 - Walls: profiled metal, minimum R1.5 insulation (R_w23)
 - Ventilation Louvres: (Assumed R_w20 when closed)
 - **Gymnasium / Gymnastics Building**
 - Roof: profiled metal, minimum R1.5 insulation (R_w23)
 - Walls: profiled metal, minimum R1.5 insulation (R_w23)
 - Ventilation Louvres: (Assumed R_w20 when closed)

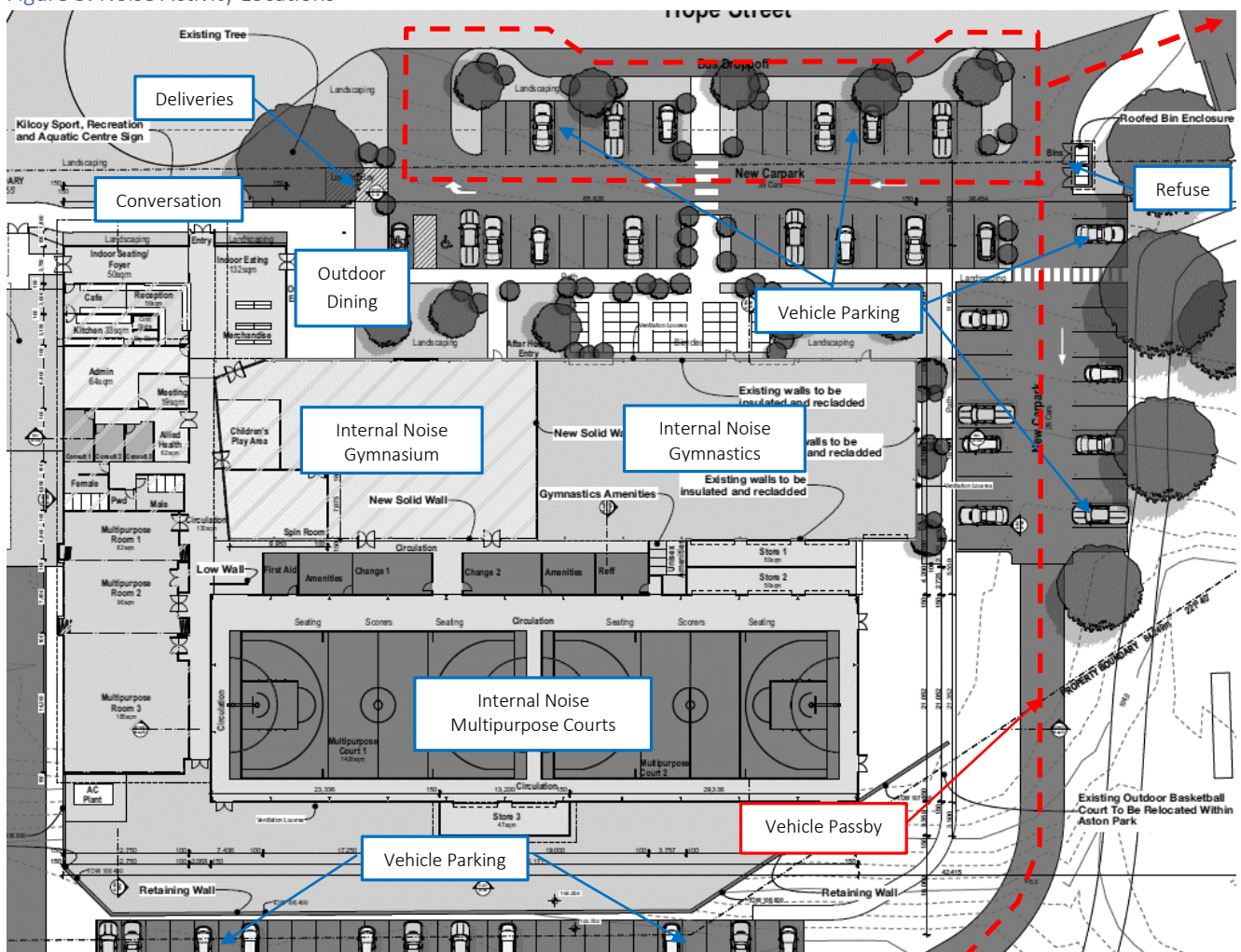
6.3 Assessment Parameters

The following assumptions have been made for noise calculations:

- Predicted noise levels were assessed using SoundPLAN v9.0.
- Elevation data of the surrounding area is taken from the Intergovernmental Committee on Surveying and Mapping Elevation and Depth (ELVIS) database.
- The onsite traffic generation rate was based on the number of parking spaces, therefore a maximum rate of 135 vehicle movements is used for a peak hour.
- Conversation noise was based on a 'male' voice with 'raised' vocal effort as reported in published data contained in Harris, C.M., Handbook of Acoustical Measurements and Noise Control – 3rd ed. Ch 16.3, Mc Graw-Hill Inc, 1991. Noise duration was assumed to be continuous over the period.
- Crowd noise levels were calculated with the Hayne et al 2011 Crowd Prediction Noise method.
- The outdoor dining noise source includes background music.
- Waste collection and deliveries include all activities associated with loading and unloading the vehicle.
- Assessment includes the recommended acoustic barrier as shown in Section 7.
- Noise attenuation of 7dB(A) through an open window at a receiver was applied for internal noise level predictions. It is noted that between 15 and 20dB could be expected to be achieved through a closed window.
- The night time noise modelling includes the recommendations made in Section 7 and reproduced below.
 - Waste collection, outdoor dining and deliveries do not occur between 10pm and 7am.

- The gymnastics hall is not expected to operate before 7am or after 10pm.
- The noise modelling assumes all ventilation louvres for the multipurpose courts are open between 7am and 10pm and closed between 10pm and 7am.
- The noise modelling assumes all doors, roller doors and windows for the multipurpose courts, gymnasium and gymnastics hall are closed. (Note. Doors can still be used for access / deliveries etc)
- The internal Spin Room in the gymnasium would be expected to have loud amplified music however this is an internal room with no external facades and therefore will not have an environmental noise impact.
- Figure 5 presents the relevant noise activity locations:
 - Conversation noise is also assumed in all vehicle parking locations.
 - Note: Additional car parking / car movement noise sources were modelled in the northeastern and southern car parks and are not shown in Figure 5.

Figure 5: Noise Activity Locations



6.4 Predicted Noise Levels at Receivers

6.4.1 Acoustic Quality Objectives

Predicted noise levels were assessed using SoundPLAN v9.0 and Table 8 presents the predicted noise emission levels at the nearest noise sensitive receivers and compares to the acoustic quality objective noise criteria. Maximum noise levels at the receiver locations are displayed in Table 8, full results in Appendix B.

Table 8: Predicted Noise Levels - Acoustic Quality Objective Criteria

Receiver	Time Period	Predicted Noise Level $L_{Aeq,1hr}$ dB(A)		Complies with Criteria?		
		External	Internal	Day / Evening		Night
				External 50 dB(A)	Internal 35 dB(A)	Internal 30 dB(A)
1	Daytime & Evening	43	36	✓	✓*	N/A
	Night	37	30	N/A	N/A	✓
2	Daytime & Evening	43	36	✓	✓*	N/A
	Night	37	30	N/A	N/A	✓

*A 1dB exceedance of criteria is considered a 'marginal compliance' as a 1-3dB change in noise level is typically not discernible to the human ear in an environmental setting.

Noise emissions are predicted to comply during the night time, and marginally comply (+1dB) with the noise criteria during day/evening time at the nearest noise sensitive receivers. Marginal compliance is considered acceptable as the assessment is conservative, assuming all noise sources are occurring simultaneously, and receivers have open windows. The noise prediction includes the recommendations as detailed in Section 7.

6.4.2 Background Creep

Table 9 presents the predicted background creep noise levels at the nearest noise sensitive receivers.

Table 9: Predicted Noise Levels - Background Creep Criteria

Receiver	Noise Sources	Predicted External Noise Level $L_{Aeq,T}$ dB(A)	Complies with Criteria?		
			Day (7am – 6pm) 51dB(A)	Evening (6pm – 10pm) 44dB(A)	Night (10pm – 6am) 44dB(A)
1	Daytime & Evening	43	✓	✓	N/A
	Night	37	N/A	N/A	✓
2	Daytime & Evening	43	✓	✓	N/A
	Night	37	N/A	N/A	✓

Noise emissions are predicted to comply with the noise criteria at the nearest noise sensitive receivers with the recommended attenuation measures (Section 7). Figure 6 and

Figure 7 display the indicative noise impact contour plots for day/evening and night time.

Figure 6: Noise Contour Plot L_{eq} – Day / Evening

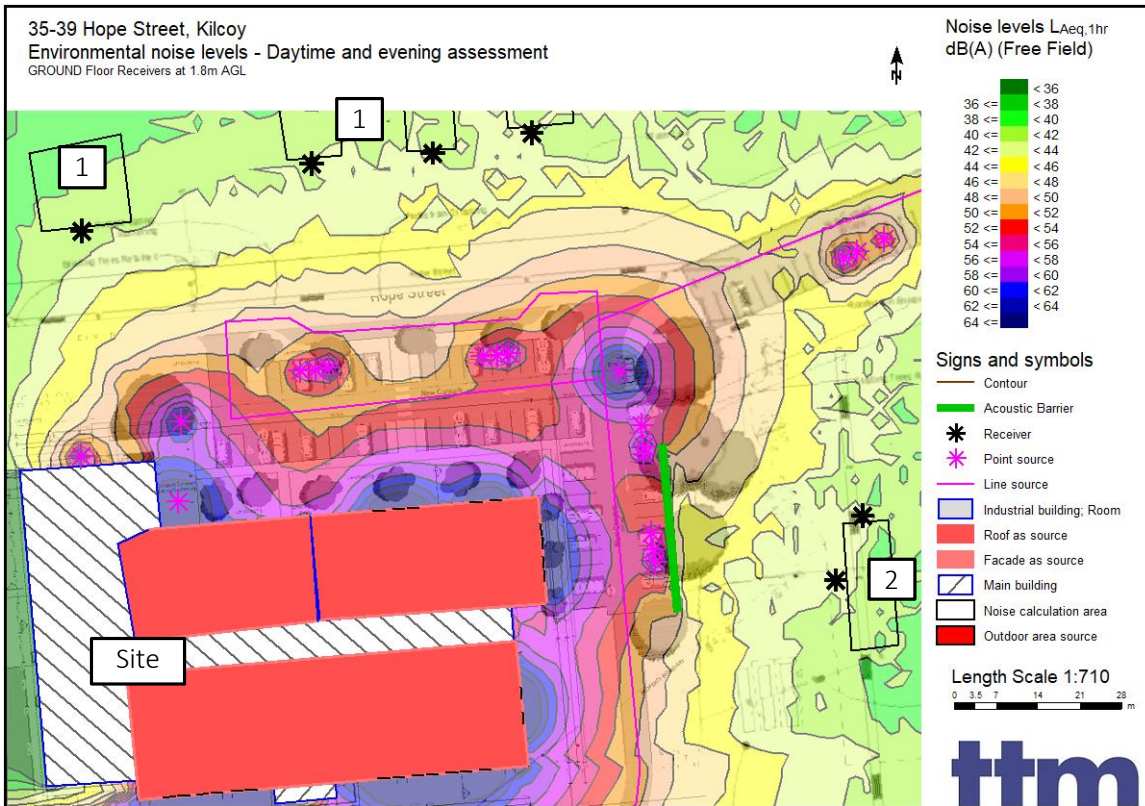
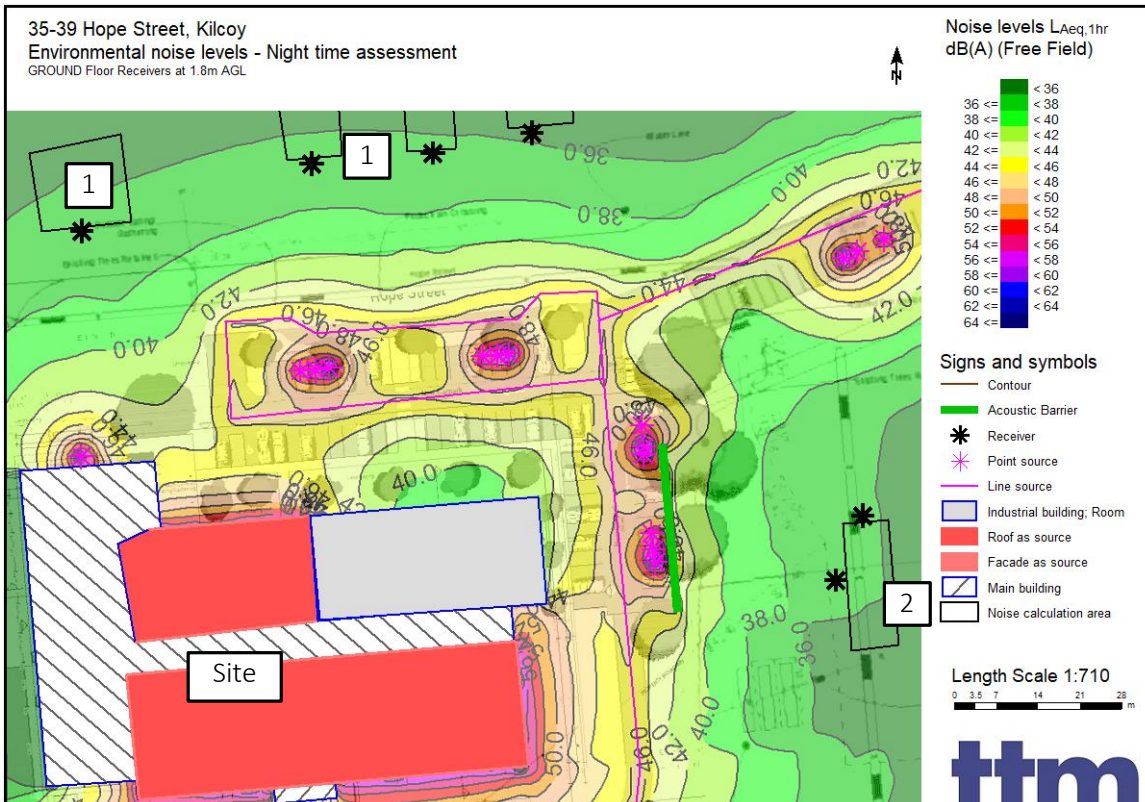


Figure 7: Noise Contour Plot L_{eq} – Night



6.4.3 WHO - Guideline for Community Noise – Sleep Disturbance

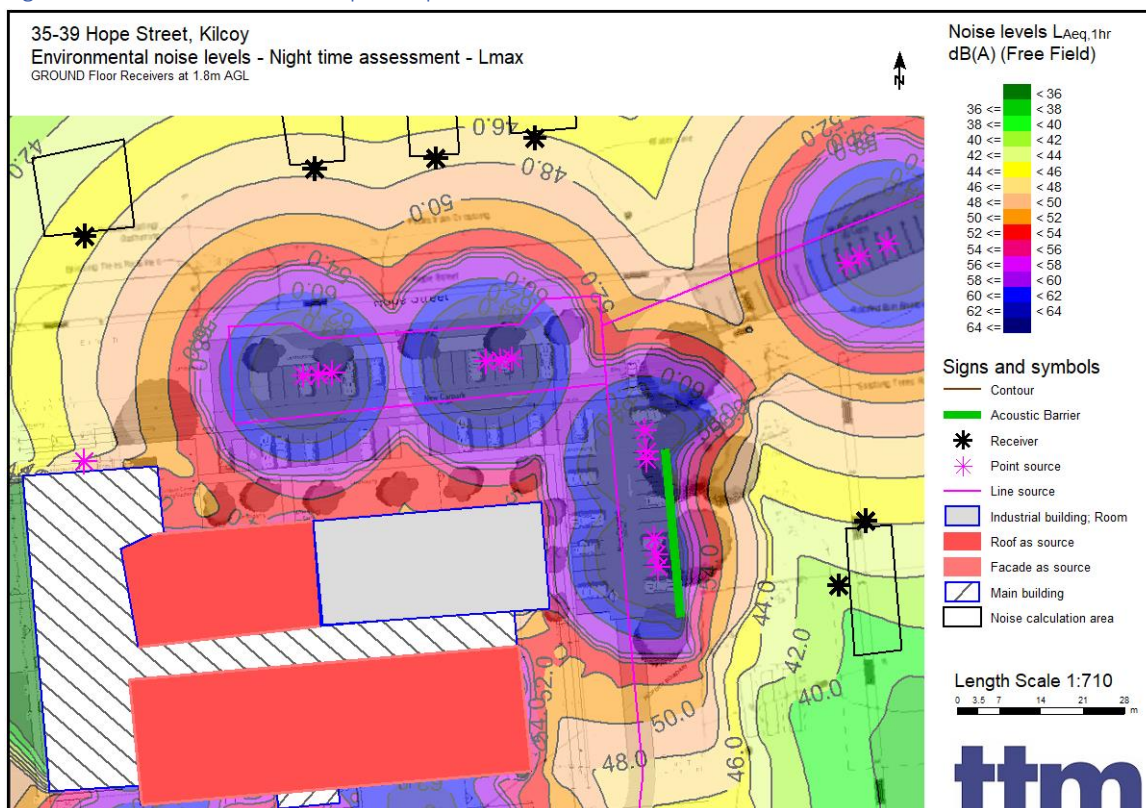
Predicted L_{MAX} noise levels were assessed using SoundPLAN v9.0 and Table 10 presents the predicted noise emission levels at the nearest noise sensitive receivers and compares to the WHO sleep disturbance criteria. Maximum noise levels at the receiver locations are displayed in Table 10, full results are shown in Appendix B.

Table 10: World Health Organisation Guideline for Community Noise – Sleep Disturbance

Receiver	Predicted Noise Level L_{MAX} dB(A)		Internal Sleep Disturbance Criteria, dB(A)
	External	Internal	L_{MAX} 45 dB(A)
1	48	41	✓
2	44	37	✓

Noise emissions are predicted to with the noise criteria at the nearest noise sensitive receivers (with the recommended attenuation measures as outlined in Section 7). Figure 8 displays the indicative noise impact contour plots for L_{MAX} / sleep disturbance.

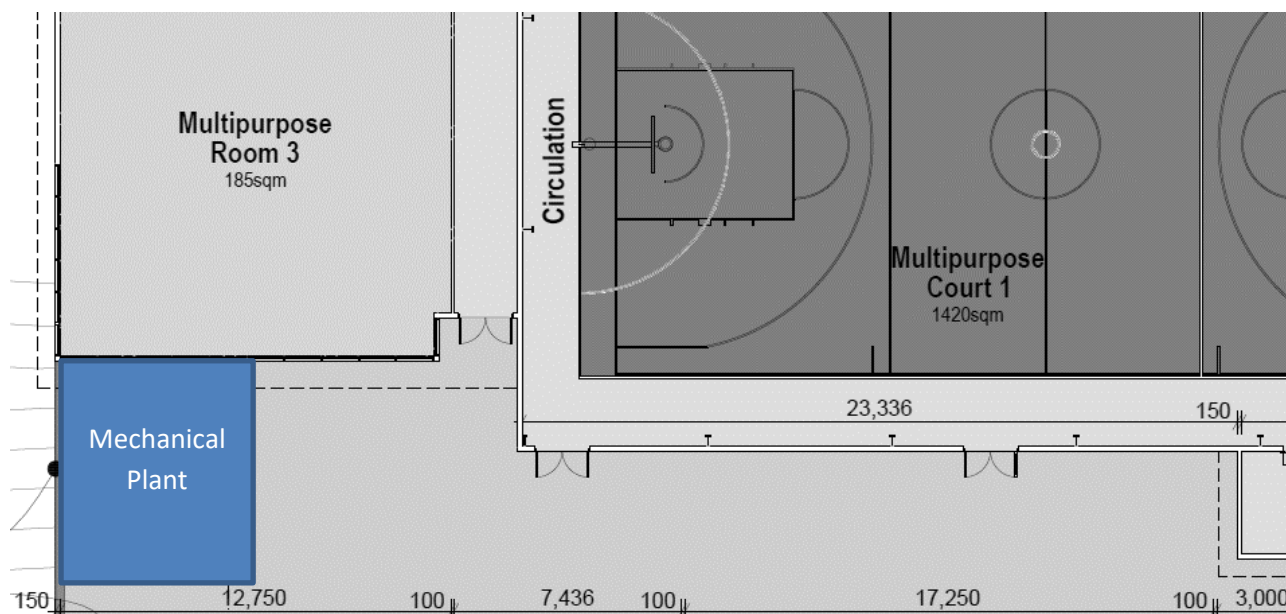
Figure 8: Noise Contour Plot L_{eq} – Sleep Disturbance



6.5 Preliminary Mechanical Plant Assessment

At this stage, there is no specific information regarding external mechanical plant. Mechanical plant may be located in a centralised location on the rooftops or as shown in Figure 9 or at ground level.

Figure 9: Mechanical Plant Location



A reverse calculation was conducted to determine the allowable noise source level of onsite mechanical equipment prior to the inclusion of acoustic treatment/screening. Based on the following:

- Internal noise criteria (worst case): day and evening 35dBA, night 30dBA,
- Receivers with windows open (7dB attenuation).
- Distance attenuation to the nearest noise sensitive use (Receiver 1): 98m
- Shielding from >3m building: 12dB attenuation

The indicative allowable mechanical noise levels during each time period are presented in Table 11.

Table 11: Mechanical Plant Predictions

Plant location	Allowable noise level at 1m to achieve compliance, L_{eq} dB(A)	
	Day and Evening 7am – 10pm	Night 10pm – 7am
as per Figure 8	103	98

The predicted maximum allowable sound level for mechanical plant is expected to be adequate for operation of the building.

7 Recommendations

The recommended acoustic treatments are presented in the sections below to achieve predicted compliance with the relevant assessment criteria.

7.1 Building Attenuation

The following building attenuation measures are recommended:

- External wall construction for the gymnasium, gymnastics hall and multipurpose courts to be:
 - Minimum R_{w23} acoustic rating, example constructions include.
 - Minimum 0.42BMT sheet metal with minimum R1.5 insulation
 - Minimum 6mm fibre cement

7.2 Management Strategies

The following management strategies are recommended to minimise noise annoyance:

- a. Waste collection and deliveries should not occur between 10pm and 7am.
- b. Outdoor dining should not occur between 10pm and 7am.
- c. All ventilation louvres for the multipurpose courts should be closed between 10pm and 7am.
- d. All roller doors and doors of the multipurpose courts, gymnasium and gymnastics hall should be closed (doors can be used for patron access, deliveries etc).
- e. Any speed humps should be bitumen, concrete (as part of the slab) or rubber, not metal.
- f. Any grates or other protective covers in the car parking area should be rigidly fixed in position to eliminate clanging, and be maintained.

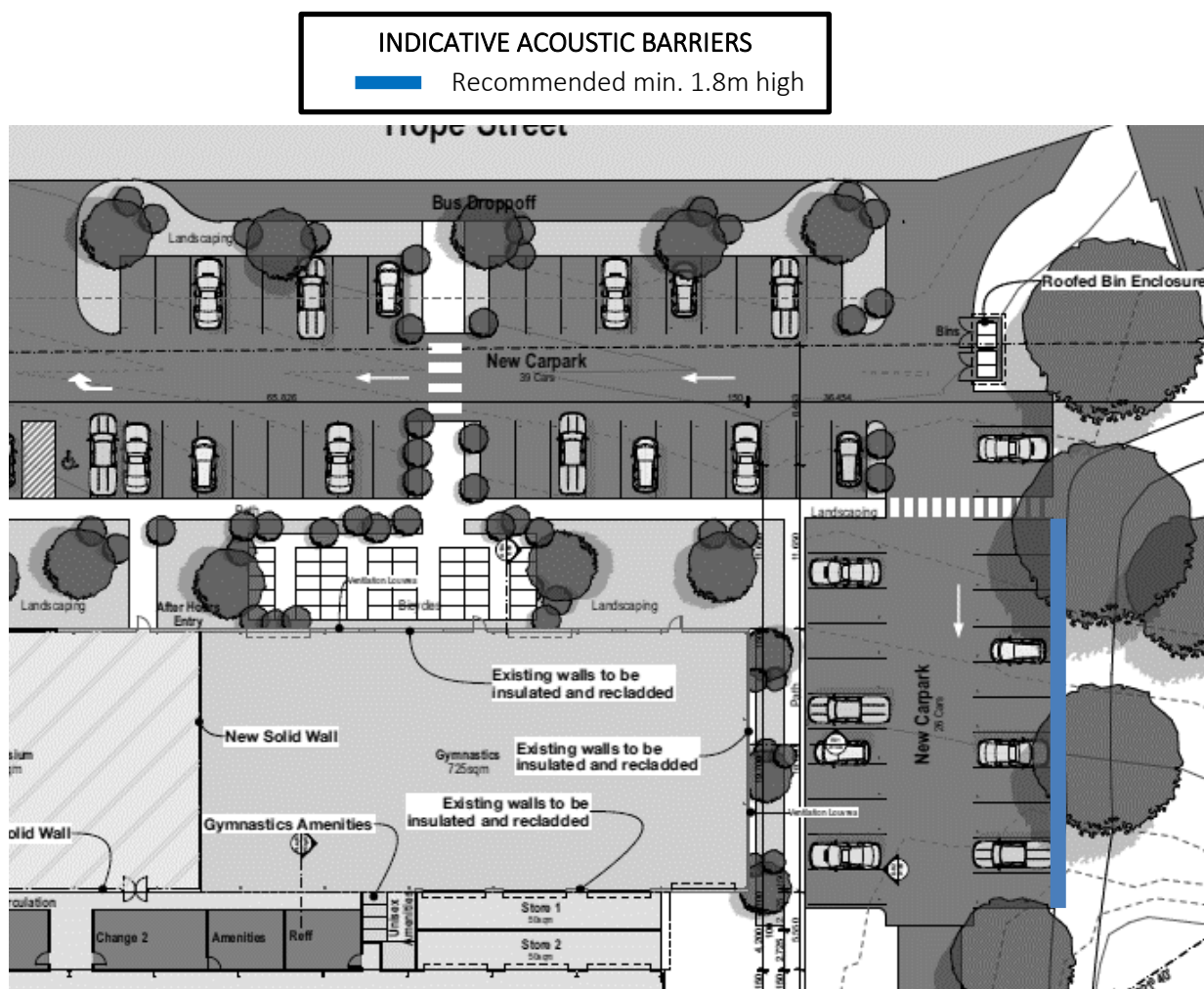
7.3 Acoustic Barrier (Fence)

An acoustic fence is recommended at the location, height and extent as shown in Figure 10.

The acoustic barrier should:

- Be the minimum height of 1.8m relative to the adjacent car park level as shown in Figure 10.
- Be of solid construction and have no gaps or holes for the extent shown.
- Be constructed of a material with a surface mass not less than 12.5kg/m².
- Be constructed of the following materials (but not limited to): lapped timber (min. 25mm thick palings (each), min. 50% overlap); plywood (min. 22mm); masonry; compressed fibre cement sheet; aluminium (min. 5mm) or steel (min. 2mm); glazing; earth mound or combination of the above.

Figure 10: Recommended Acoustic Barrier – Indicative

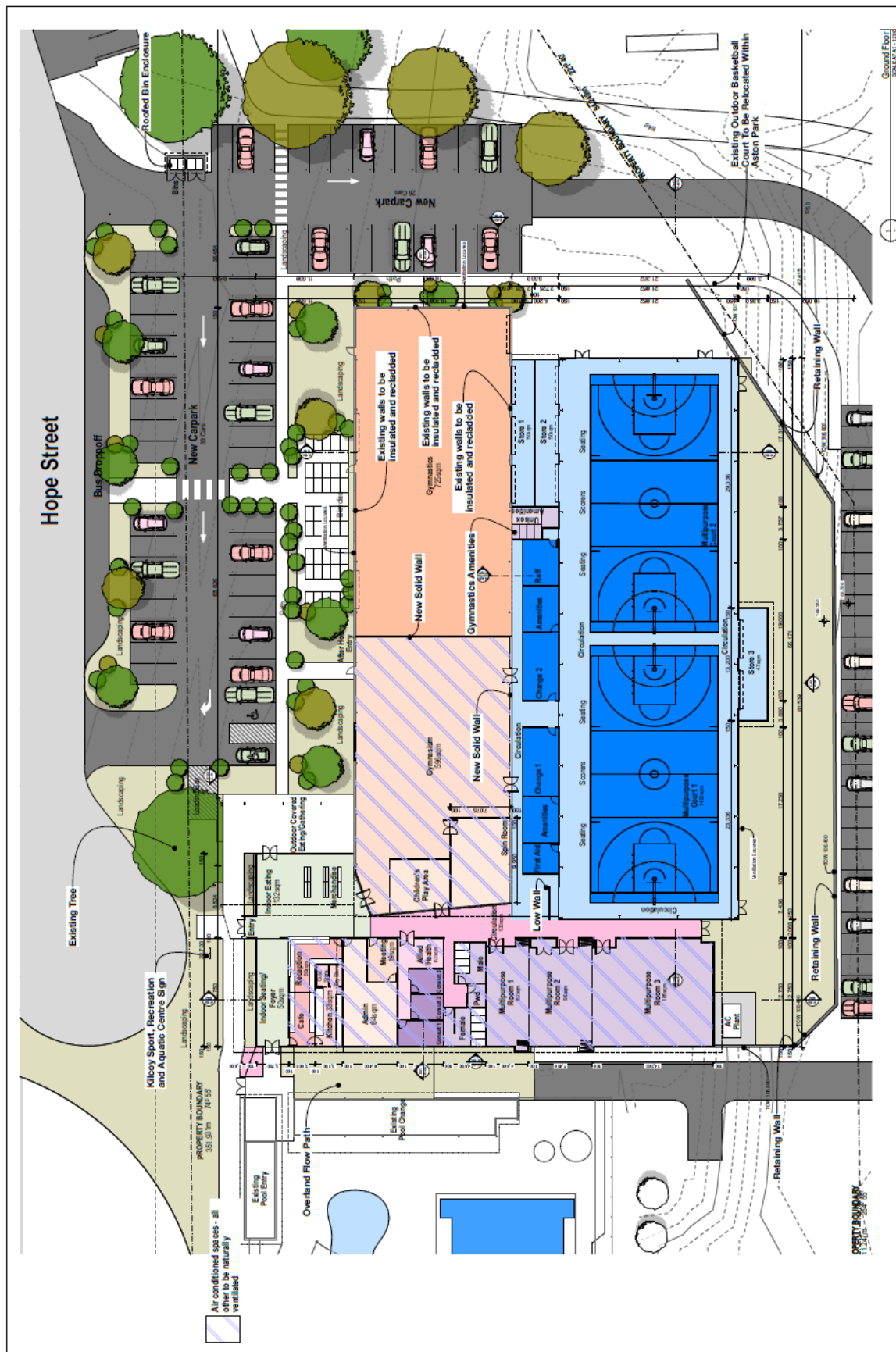


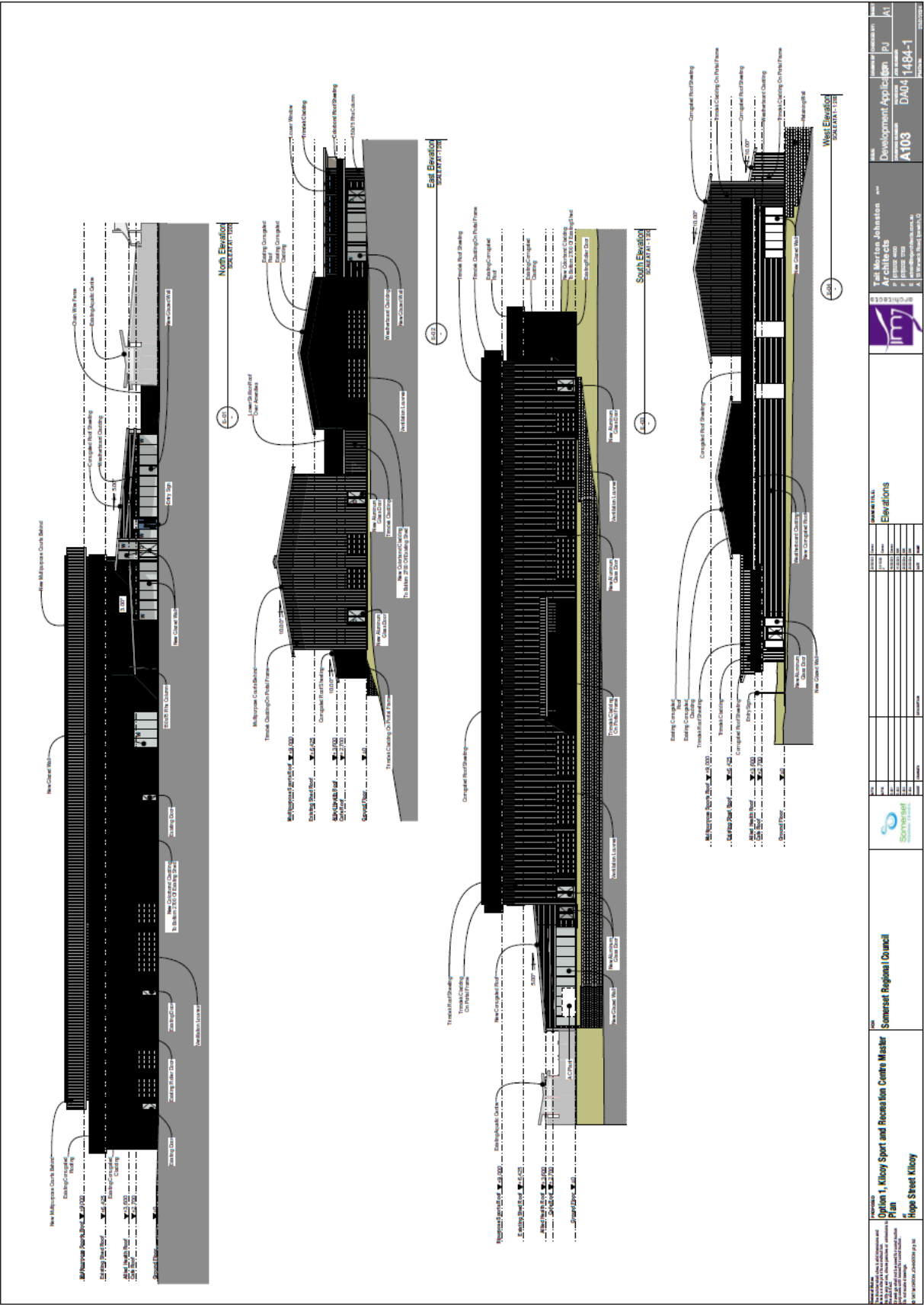
8 Conclusion

TTM was engaged by ONF Surveyors to undertake an environmental noise assessment of proposed indoor recreation use located at 35-39 Hope Street, Kilcoy.

The proposed development is predicted to comply with the Somerset Regional Council planning scheme requirements, based on the analysis and recommendations outlined in Section 7 of this report.

Appendix A Development Plans





Site: 35-39 Hope Street, Kilcoy
Reference: 23BRA0100 R01_2

Appendix B SoundPLAN Results

35-39 Hope Street, Kilcoy ENV Assessed receiver levels "Environmental Assessment.sit" "RDGM0001.dgm"	2
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Receiver	FI	Leq Free Field dB(A)	
R1 - A	GF	42	
R1 - B	GF	43	
R1 - C	GF	42	
R1 - D	GF	42	
R1 - E	GF	38	
R1 - F	GF	39	
R1 - G	GF	37	
R1 - H	GF	34	
R2 - A	GF	43	
R2 - B	GF	41	
R2 - C	GF	35	

	TTM Consulting Pty Ltd	1
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SoundPLAN 9.0

35-39 Hope Street, Kilcoy ENV Assessed receiver levels "Environmental Assessment Night.sit" "RDGM0001.dgm"	2
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Receiver	FI	Leq free field dB(A)	Lmax free field dB(A)
R1 - A	GF	37	45
R1 - B	GF	37	48
R1 - C	GF	36	47
R1 - D	GF	36	46
R1 - E	GF	33	43
R1 - F	GF	33	47
R1 - G	GF	32	47
R1 - H	GF	31	48
R2 - A	GF	37	41
R2 - B	GF	36	44
R2 - C	GF	31	42

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SoundPLAN 9.0

Appendix C Internal Calculations

Job No.		Job Title			
Date Created	By	Date Revised	Rev	Sheet	
		22 Feb 2024	40		
Date Reviewed	By	Review Type	Review Status		

Internal Reverberant Noise Level - Multipurpose Courts

Item / Description		Rating/Broadband/Input			Octave Band Centre Frequency, Hz									
		Rating	dB	dB(A)	31.5	63	125	250	500	1k	2k	4k	8k	
Reverberation Time					3.0									
Quick RT (from RT Library) - Room Type: Sports Halls, Finish Type: Hard		2.00 s				2.6	2.4	2.2	2.0	2.0	1.8	1.4	1.0	
Source SWL		SPL	Distance	SWL		Duration sec	No. Events	Adjust dB	Adjusted SWL (1hr)					
Crowd - max patrons (100)				94 (A)		60	100%	0	94 (A)					
Shouting				92 (A)		60	100%	0	92 (A)					
Amplified Sound				97 (A)		60	100%	0	97 (A)					
								SUM	100 (A)					
Library - Type: Noise Level, § Gymnasium				90 (A)	72	78	84	89	86	80	72	64		
Adjust to match SUM above		10												
Sum				100 (A)		88	94	99	96	90	82			
Building														
Floor area		1420	m2											
Height (av)		9.0	m											
Volume		12780	m3											
Reverberation Level														
Reverberant Sound Level (from RT) - RT: Row 14, Lw: Row 19		12780 m³	1 x	76 (A)		65	70	75	72	65	56			

Job No.		Job Title			
21BRA0171					
Date Created	By	Date Revised	Rev	Sheet	
	SY	21 Feb 2024	2		
Date Reviewed	By	Review Type	Review Status		

Internal Reverberant Noise Level - Gymnasium

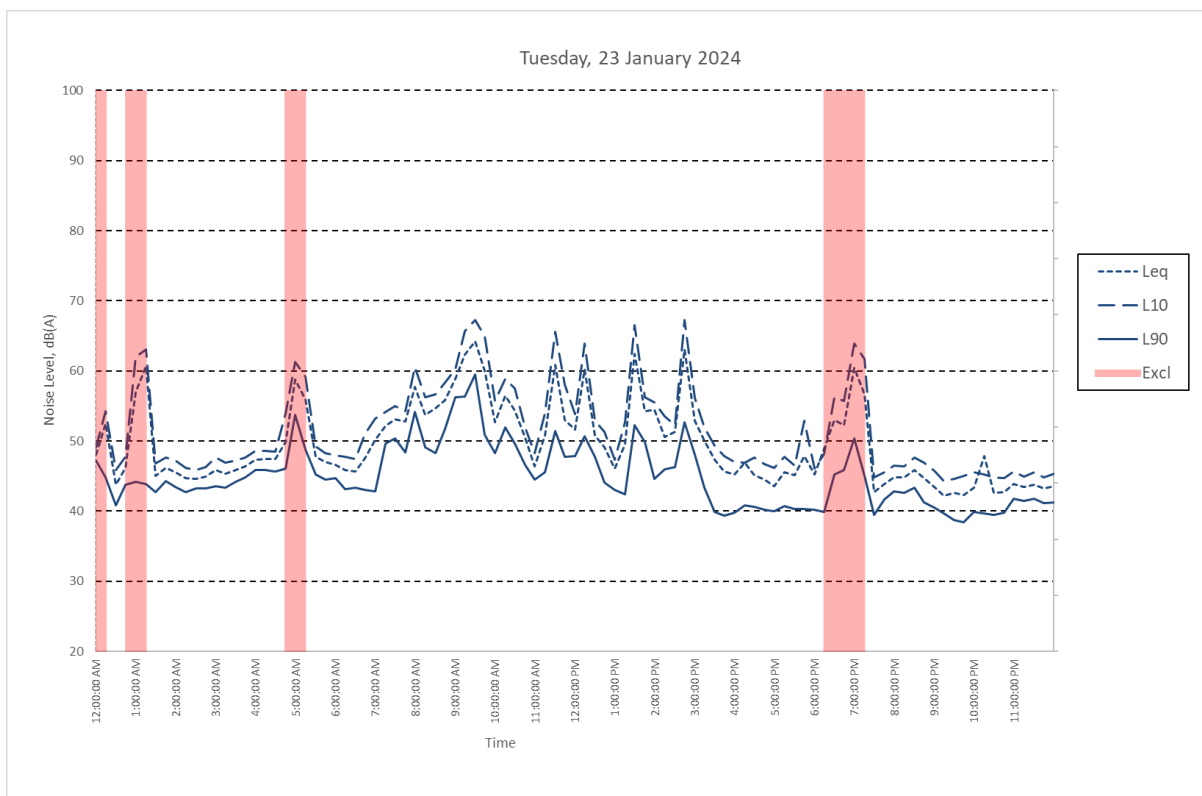
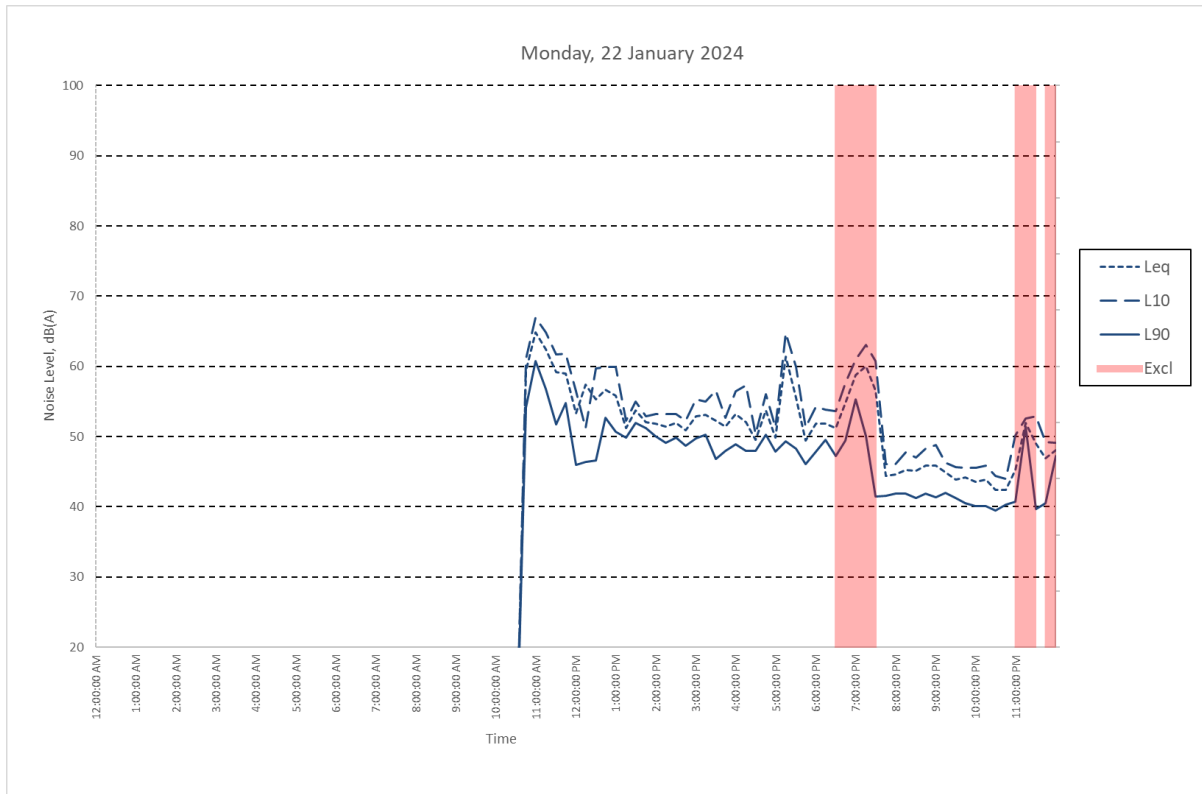
Item / Description		Rating/Broadband/Input			Octave Band Centre Frequency, Hz									
		Rating	dB	dB(A)	31.5	63	125	250	500	1k	2k	4k	8k	
Reverberation Time					2.4									
Quick RT (from RT Library) - Room Type: Multi-Purpose Halls, Finish Type: Hard		1.60 s				2.1	1.9	1.8	1.6	1.6	1.4	1.1	0.8	
Source SWL		SPL	Distance	SWL		Duration sec	No. Events	Adjust dB	Adjusted SWL (1hr)					
Crowd - max patrons (50)				89 (A)		60	100%	0	89 (A)					
Shouting				92 (A)		60	25%	-6	86 (A)					
Amplified Sound				92 (A)		60	100%	0	92 (A)					
								SUM	94 (A)					
Library - Type: Noise Level, § Gymnasium				90 (A)		72	78	84	89	86	80	72	64	
Adjust to match SUM above		4												
Sum				94 (A)			82	88	93	90	84	76		
Building		Floor area	596	m2										
		Height (av)	6.4	m										
		Volume	3829	m3										
Reverberation Level														
Reverberant Sound Level (from RT) - RT: Row 14, Lw: Row 19		3829 m³	1 x	74 (A)		63	69	73	70	64	55			

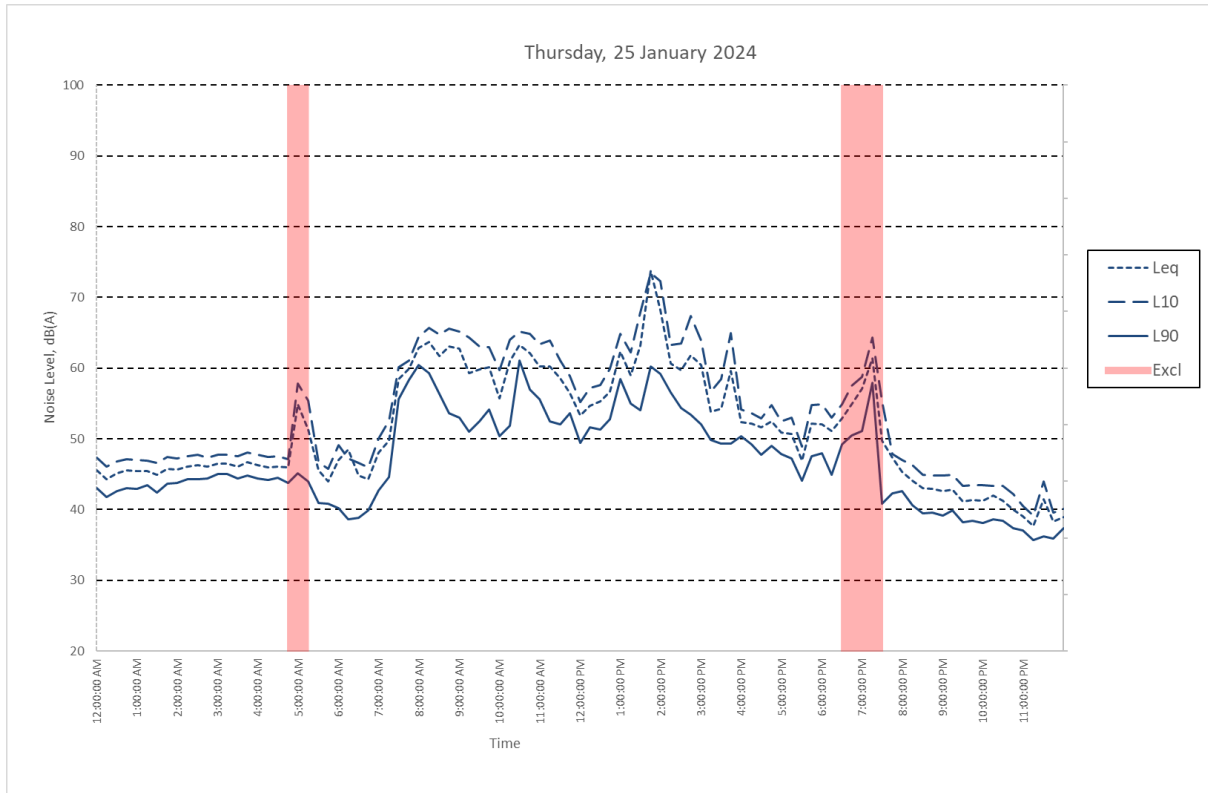
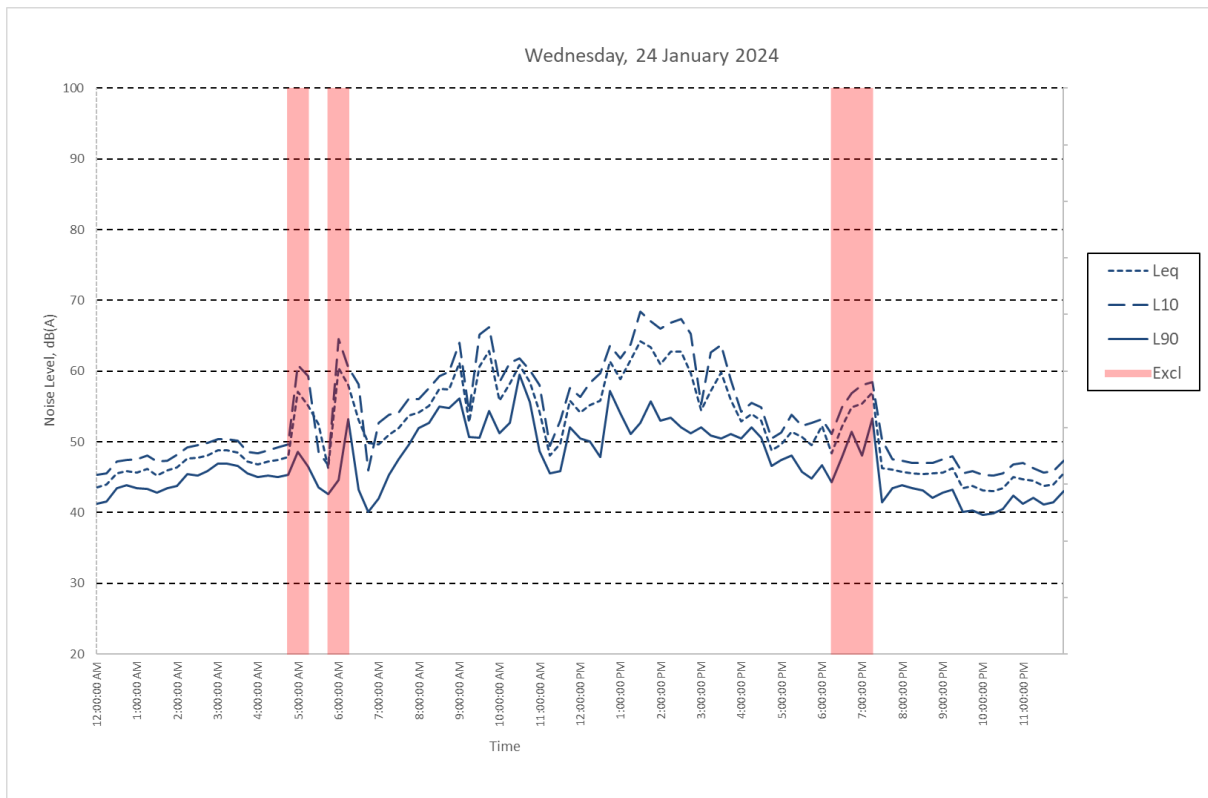
Internal Reverberant Noise Level - Gymnastics Hall

Item / Description	Rating/Broadband/Input			Octave Band Centre Frequency, Hz							
	Rating	dB	dB(A)	31.5	63	125	250	500	1k	2k	4k 8k
Reverberation Time											
Quick RT (from RT Library) - Room Type: Multi-Purpose Halls, Finish Type: Hard	1.60 s			2.4	2.1	1.9	1.8	1.6	1.6	1.4	1.1 0.8
Source SWL	SPL	Distance	SWL	Duration sec	No. Events	Adjust dB	Adjusted SWL (1hr)				
† Crowd - max patrons (50)			89 (A)	60	100%	0	89 (A)				
† Shouting			92 (A)	60	50%	-3	89 (A)				
† Amplified Sound			92 (A)	60	100%	0	92 (A)				
							SUM	95 (A)			
Library - Type: Noise Level, § Gymnasium			90 (A)	72	78	84	89	86	80	72	64
Adjust to match SUM above	5										
Sum			95 (A)		83	89	94	91	85	77	
Building	Floor area	725	m ²								
	Height (av)	6.4	m								
	Volume	4658	m ³								
Reverberation Level											
Reverberant Sound Level (from RT) - RT: Row 14, Lw: Row 19	4658 m ³	1 x	74 (A)		63	69	73	70	64	55	

Appendix D Unattended Noise Monitoring Graphs

Insect noise (at approximately 7pm) and unexplained evening / night time peaks have been excluded.





26/01/2024 to 30/01/2024 excluded due to rainfall.



March 2024

KILCOY INDOOR SPORTS CENTRE

Concept Stormwater Management Plan

Prepared for

SOMERSET REGIONAL COUNCIL

Commercial in Confidence




Document Control						
Rev	Description	Author	Reviewer	Approved for Issue		
				Name	Signature	Date
0.1	Draft for Client Review	D. Taylor	L. Knight	L Knight		23/10/2023
1.0	Additional modelling for revised concept plans	D. Taylor	L. Knight	L Knight		14/03/2024
1.1	Add amended Architect's drawings	D. Taylor	L. Knight	L Knight		22/03/2024

TABLE OF CONTENTS

1 Introduction	1
2 Scope	2
3 Catchment Characteristics.....	2
4 Hydrology	3
4.1 Hydrological Modelling Methodology	3
4.2 Hydraulic Modelling Methodology	6
4.3 Existing and Developed Case Flow Results	6
4.4 Alternative Catchment Distribution.....	8
5 Stormwater quality	10
5.1 Water Quality Modelling Methodology.....	10
5.2 Water Quality Treatment Devices	11
5.3 Water Quality Modelling Results	12
5.4 Alternative Catchment Distribution.....	16
6 Recommendations	18
Appendices	20
Appendix A- Concept Architectural Plans	20
Appendix B- Stormwater Strategy Map	31

SOMERSET REGIONAL COUNCIL

Kilcoy Indoor Sports Centre – Concept Stormwater Management Plan

March 2024

1 INTRODUCTION

The current Kilcoy Indoor Sports Centre, owned by Somerset Regional Council (SRC), was constructed in 1996 and an upgrade is proposed to meet the growing demand from the community for health and fitness services. The existing facility consists of a gym, an indoor sports court, a consultation room, a gymnastics centre, as well as an outdoor sports court. Refer to Figure 1 below for the locality of the existing site to the Kilcoy township.



Figure 1: Locality Plan of Development Site

Conceptual designs for an expansion of the facility, developed by Tait Morton Johnston (TMJ) Architects, encompass additional outdoor parking areas, expanded indoor sports facilities, and various multi-purpose rooms (refer to the concept plans provided in Appendix A of this report). Part of the expansion plan involves consolidating the entrance to the sports centre with that of the nearby swimming pool for improved operation of the two (2) facilities.

Somerset Regional Council has engaged GenEng Solutions to develop a Concept Stormwater Management Strategy which will be used to support the development application. This report will demonstrate a strategy for addressing stormwater quality to meet state code requirements and establishing an effective approach to managing stormwater runoff generated by the expanded sports centre and integrated facilities.

2 SCOPE

The scope of this report is to:

- Propose a concept stormwater strategy for the conveyance of stormwater throughout the development;
- Provide data and parameters for a preliminary drainage design;
- Undertake stormwater quality modelling to determine treatment options for the runoff from the proposed development and develop a strategy;
- Provide a strategy report to support the planning application for Council;
- Provide a basis for further detailed design of the expanded facility to guide the design process.

3 CATCHMENT CHARACTERISTICS

The Kilcoy Indoor Sports Centre is situated at the lower end of a catchment area primarily characterised by residential land use. This catchment area, as determined through a topographic review of the site, covers approximately 2.4 hectares (hA) of land. Approximately 30% of the catchment is impervious surfaces, consisting mainly of roofs and roadways.

The runoff from the catchment is channelled into two (2) lakes, both of which serve as intermediary points before ultimately being discharging into Kilcoy Creek (refer Figure 2). The lakes are integral to aesthetics of the popular rest stop in Kilcoy on the D'Aguilar Highway and also provide amenity for a popular walking circuit through the park. The flow in Kilcoy Creek joins Somerset Dam, which serves as a source of drinking water for a portion of South East Queensland. Therefore, the management of stormwater from this catchment area has far-reaching implications, particularly concerning water quality.

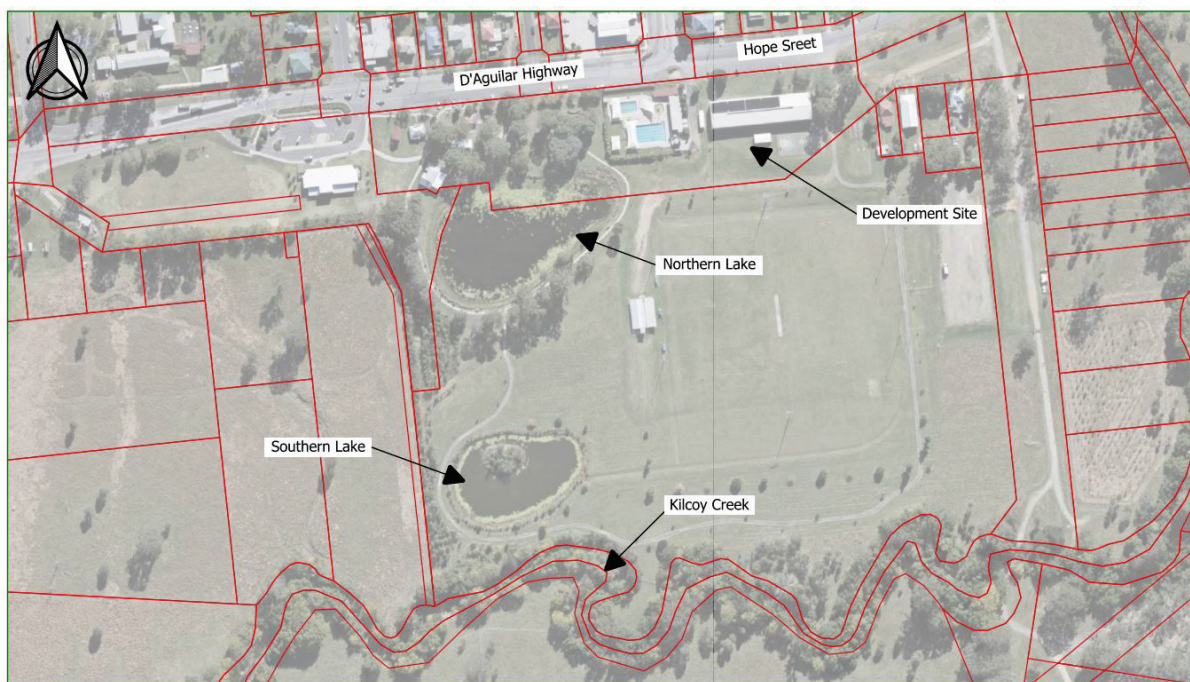


Figure 2: Site Location and Catchment Characteristics

During significant flood events, the downstream Kilcoy Creek can experience elevated water levels, which often leads to the backing up of water onto the sports fields situated to the south of the indoor sports centre. Refer to Council's Flood overlay for Kilcoy in Figure 3 below:

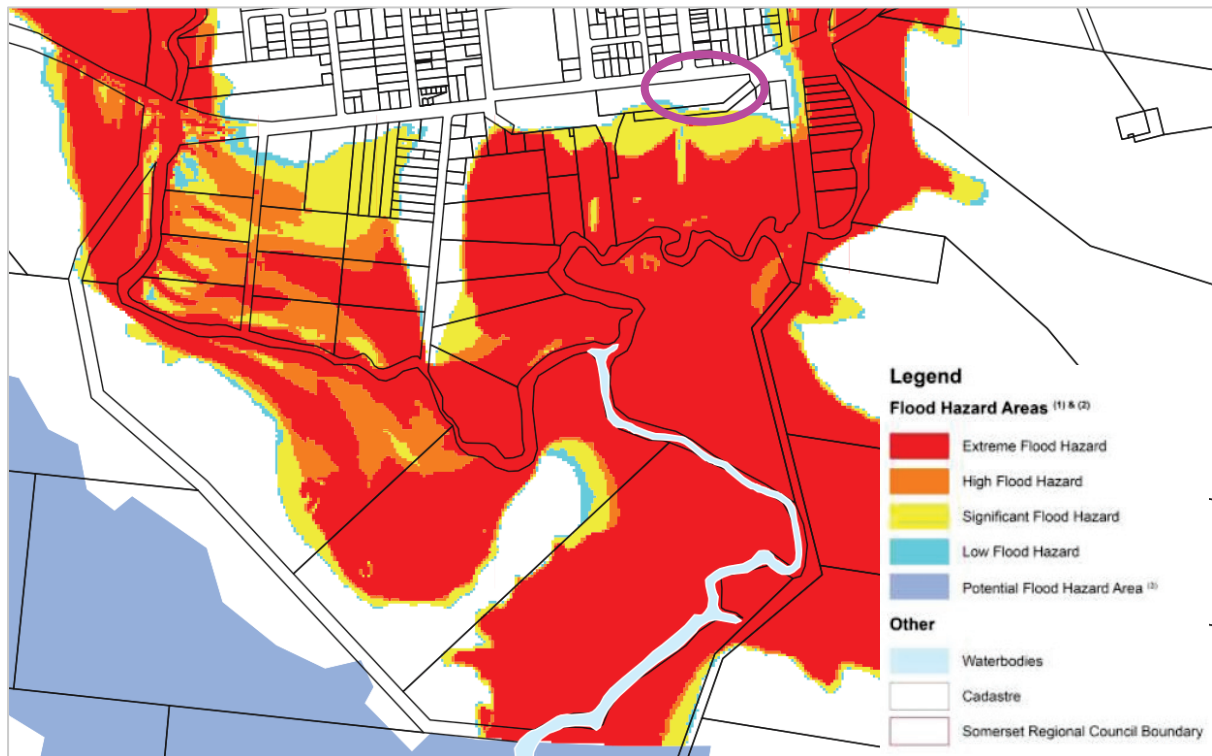


Figure 3: Kilcoy Flood Overlay Provided by SRC with Development Site Highlighted in Magenta.

4 HYDROLOGY

4.1 Hydrological Modelling Methodology

Hydrological modelling was undertaken using DRAINS and Australian Rainfall and Runoff 2019 (AR&R) procedures. The initial loss – continuing loss model (IL-CL) was selected for analysis and parameters were selected based on AR&R recommendations for urban catchments. A summary of the adopted loss parameters is provided below in Table 1:

Table 1: Loss Model Parameters

Loss Parameter	Impervious Areas	Pervious Areas
Initial Loss (IL)	2 mm	14.4 mm
Continuing Loss (CL)	0 mm	2.1 mm

Catchment sizes and characteristics, such as impervious area, were determined from contour information, preliminary design layouts, examination of aerial photography and onsite assessment. The existing catchments are shown below in Figure 4. This catchment map is based on the assumption that the entire roof area from the indoor sports centre is captured in underground drainage and discharged to the northern lake. This assumption will be tested in detailed modelling.

The onsite assessment was unable to determine the extent of underground stormwater drainage. The overland flow paths all drain to the table drain abutting the northern end of the sports fields. This discharges through a 300 mm diameter pipe under an embankment, which then drains to a swale to the southern lake. This table drain and pipe have limited capacity, and any excess flows will spill over the sports field and discharge at the southern lake. Any adjustments to the stormwater catchments necessary from the survey of the existing pipe network will not change the requirements for stormwater quality, as both the north and south lakes drain to Kilcoy Creek.

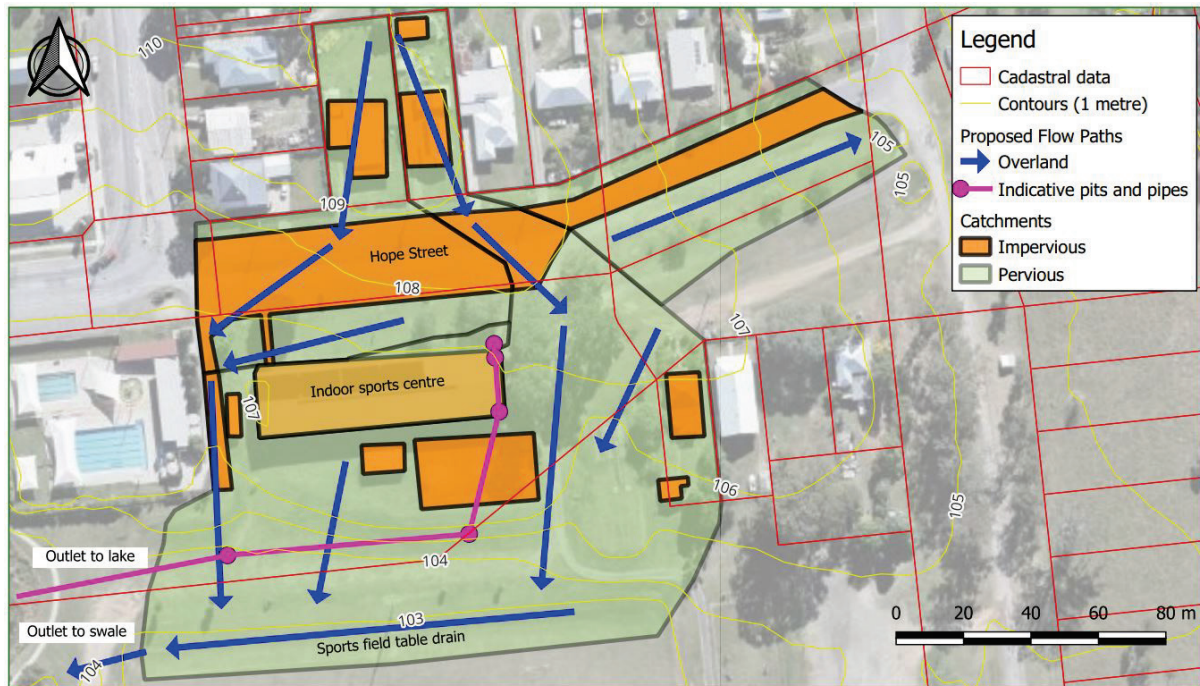


Figure 4: Existing Site Catchments and Flow Paths

The proposed catchments were determined from the concept layout plans for the expanded facility, provided by TMJ Architects (see Figure 5 below). Changes to the catchment include additional roof and carparking areas.

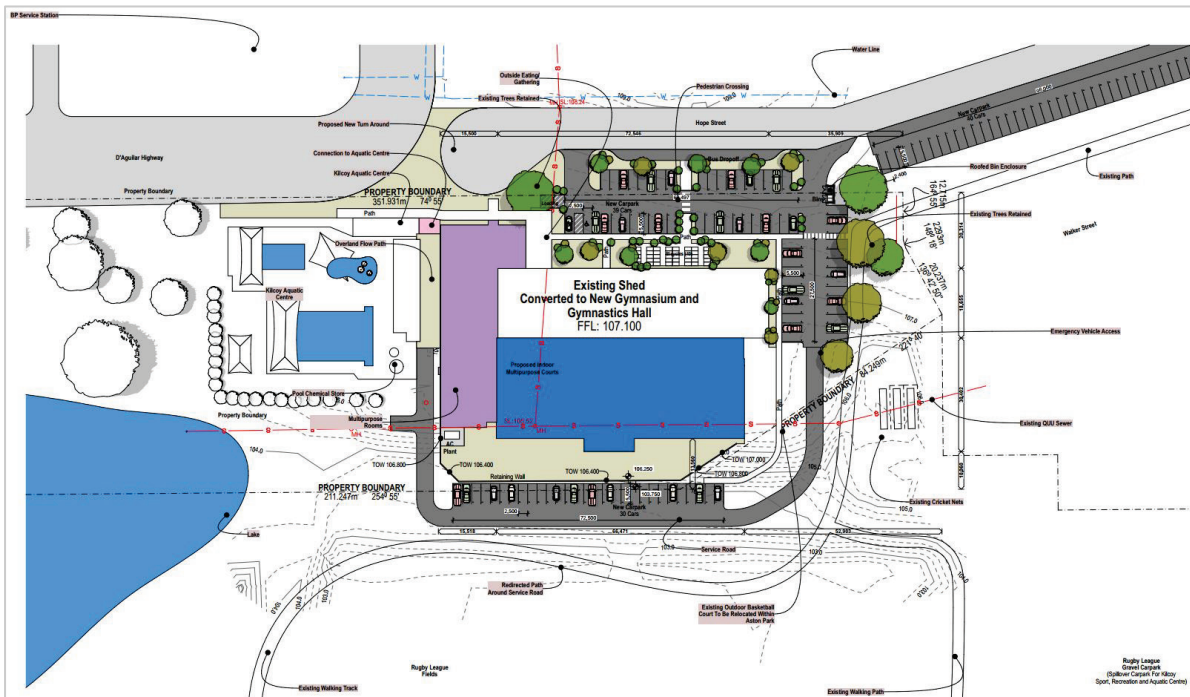


Figure 5: Concept Site Layout by TMJ Architects

The proposed catchments were mapped for stormwater quantity modelling with an estimation of flow paths (see Figure 6 below). The intent for the roof area is to extend the existing underground drainage for the sports centre to capture all stormwater roof flows at the facility for a 5% Annual Exceedance Probability (AEP) design storm as per *Queensland Urban Drainage Manual* (QUDM) requirements for commercial facilities Level IV drainage. Stormwater runoff for the northern car park and Hope Street is proposed to be captured in a pit and pipe network, then diverted to the existing stormwater network discharging to the northern lake. This network requires a bypass for high flows or blockages, in the form of an overland flow path on the western edge of the facility, discharging to the sports fields.

The proposed overland flow path between the new facility and the Aquatic Centre requires changes to the existing concept design plans with potential removal of existing gardens and tanks adjacent to the pool facility. The extent of this is discussed further in Section 4.3 of this report.

An alternative flow path on the northern side of the existing Aquatic Centre was explored but was found not to be viable due to flat grades and space constraints between the road infrastructure and aquatic centre.

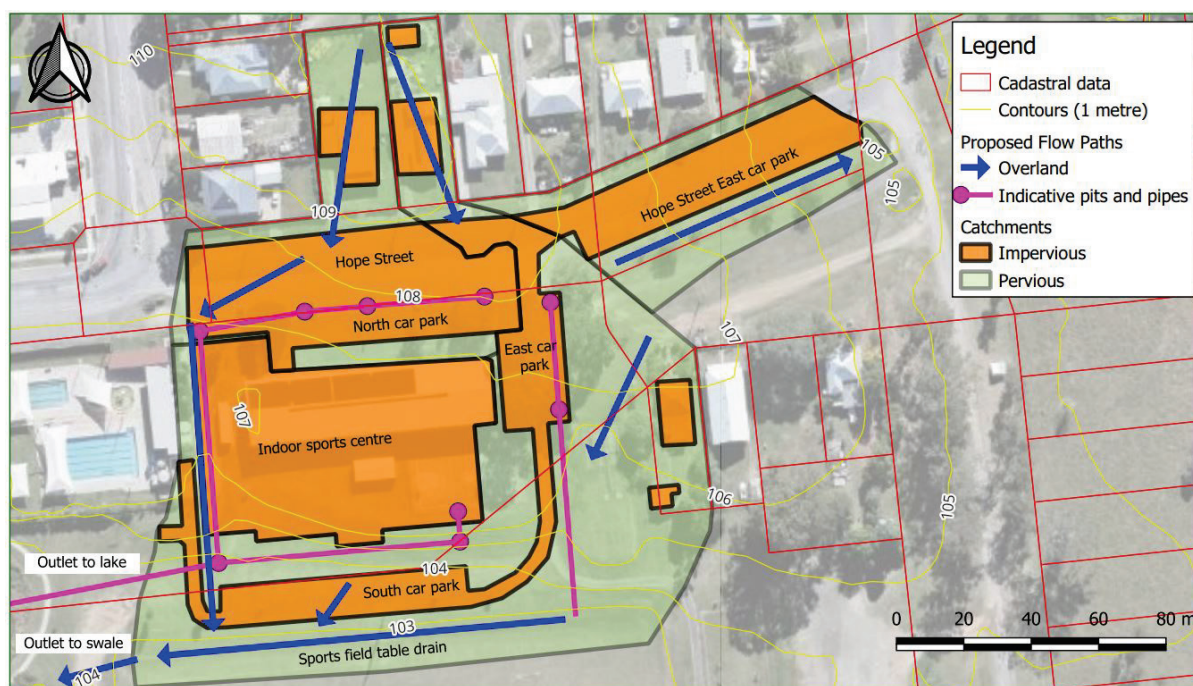


Figure 6: Proposed Site Catchments and Flow Paths

4.2 Hydraulic Modelling Methodology

A number of Manning's 'n' values for roughness were utilised to represent different types of surfaces found within the catchment and they are summarised in Table 2 below. The Brisbane City Council Natural Channel Design Guidelines were consulted in the determination of these values.

Table 2: Manning's 'n' Roughness Values

Description	Manning's 'n' Roughness Value
Reinforced Concrete Pipes and Culverts	0.012
Roads	0.025
Table Drains or Swales	0.03

4.3 Existing and Developed Case Flow Results

Existing and developed models were setup in DRAINS and modelled for both a minor event (10% AEP or 10-year ARI, generally in line with the proposed standard for piped drainage for commercial premises), and major event (1% AEP or 100-year ARI). Results are shown in Table 3 below:

Table 3: Existing and Developed Case Peak Flow Results

AEP	Hope Street East Car Park		Outlet to Northern Lake		Outlet to Southern Swale		Spilled to Sports Field
	Critical Storm Duration	Peak Flow Rate (m ³ /s)	Critical Storm Duration	Peak Flow Rate (m ³ /s)	Critical Storm Duration	Peak Flow Rate (m ³ /s)	Peak Flow Rate (m ³ /s)
10% Existing	15 minute	0.127	10 minute	0.075	30 minute	0.101	0.355
10% Developed	15 minute	0.129	10 minute	0.354	45 minute	0.092	0.166
1% Existing	10 minute	0.195	10 minute	0.109	25 minute	0.111	0.649
1% Developed	10 minute	0.198	5 minute	0.527	25 minute	0.101	0.373

For the developed case, the northern catchment will be conveyed by pits and pipes to the northern lake. An overland flow path is required also, should greater flows occur or to provide relief in the case of potential pit blockage. This is critical for preventing nuisance flows to buildings or other infrastructure.

In a 1% AEP design storm, the flow from the northern catchment only is 260 L/s. To align with the stormwater strategy, a drainage channel is proposed in the corridor between the swimming pool and the proposed extension to the sports centre. Currently this corridor has an access road, gardens and tanks. Council have indicated that the tanks are able to be relocated if required.

At the natural grade, a trapezoidal channel sized at 1.0 m base width, 4.6 m top width with 1:6 side slopes would be required to convey the entire 260 L/s. Normal flow depth would be 220 mm, but the channel is sized to take twice the design flow. Manning's 'n' roughness value of 0.06 has been adopted, which will allow for some planting for a visually pleasing solution. TMJ Architects have reviewed this initial advice and updated the architectural plans to include a corridor for overland flow in the latest concepts as per Figure 5. Stormwater quality outcomes could also be investigated with the use of this channel if pipe outlet levels were suitable.

For peak flows in a major 1% AEP design storm, there is a 418 L/s increase in flow to the northern lake, a 286 L/s decrease in flow to the southern lake, and a 3 L/s increase to the Hope Street East car park. The balance has been shifted to the north due to an increased catchment captured by underground drainage which previously ran off to the sports fields. Overall, there is still a net increase of 135 L/s peak flow due to the development. As the increase is very small, detention being typically viable in lower portions of catchments and the presence of the existing lake, there is no proposal to detain the flows through a basin or similar.

No residential land use would be impacted or have worsened stormwater flows as a result of the development. Generally, downstream land ownership is held by Council or the Crown. The development is also at the lower end of the catchment therefore it is important to discharge runoff

quickly. This is to mitigate the hydrograph peaks aligning and creating a greater peak. The lower portion of the catchment will peak early in the storm and the higher portion of the catchment will peak later due to the time needed for the stormwater to travel to the outlet point. Detaining flows in the lower portion of a catchment risks creating a larger hydrograph peak, rather than two (2) smaller ones. Another consideration to minimise detention and or disturbance is the larger regional flooding which occurs from Kilcoy Creek. Disruption of this regional floodwater with earth structures, such as detention basin embankments, may create issues in other parts of the wider Kilcoy Creek catchment.

4.4 Alternative Catchment Distribution

Given the uncertainty around the underground stormwater network within the existing site, it is possible that the catchment distribution is different to original assumptions. Additional modelling was conducted to test the sensitivity to changing the catchment distributions. It is possible that the roof catchment from the existing sports centre does not drain to the northern lake but is instead discharged to the south to be picked up by the southern swale. In the existing case, there would be no discharge to the northern lake as per Figure 7 below in this scenario:



Figure 7: Existing Site Catchments and Flow Paths with Alternate Distribution

In the developed case, the indoor sports centre roof catchment could still be discharged to the southern swale, along with the east car park. The north carpark and northern catchment would still be captured in a pit and pipe network then discharged to the north lake as per Figure 8 below:

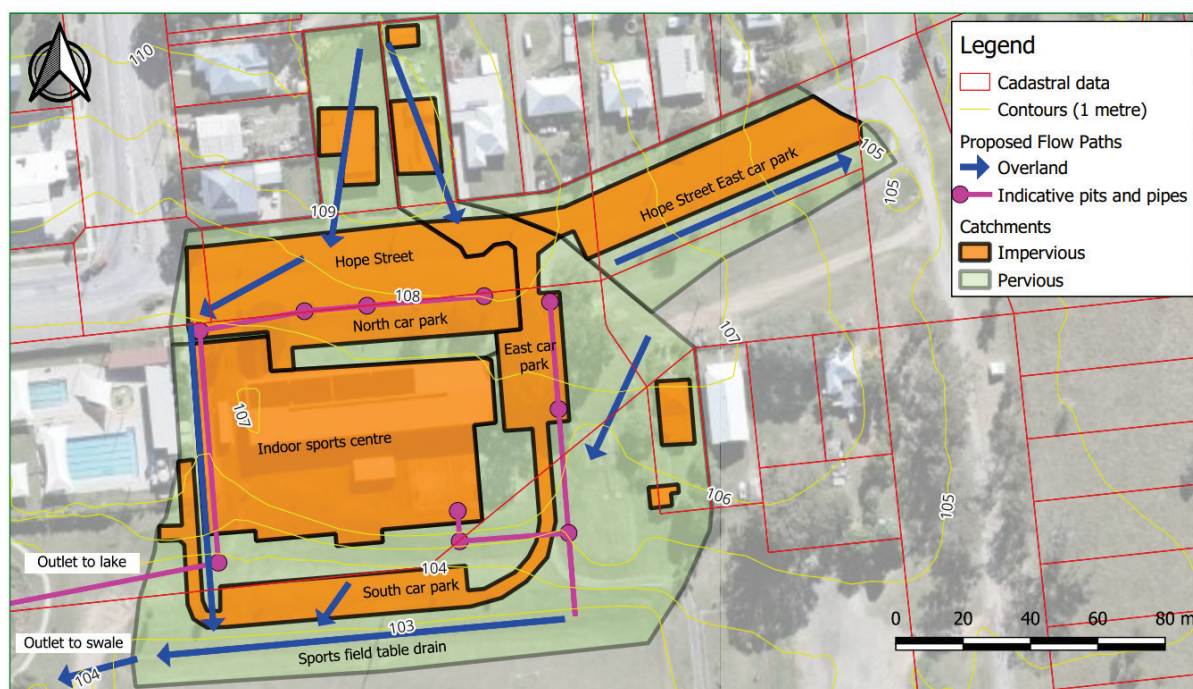


Figure 8: Developed Site Catchments and Flow Paths with Alternate Distribution

New modelling in DRAINS was undertaken to assess the existing and developed scenarios in terms of quantity. Results are shown in Table 4 below with the Hope Street East car park results omitted as they are unchanged:

Table 4: Existing and Developed Case Peak Flow Results with Alternate Catchment Distribution

AEP	Outlet to Northern Lake		Outlet to Southern Swale		Spilled to Sports Field
	Critical Storm Duration	Peak Flow Rate (m ³ /s)	Critical Storm Duration	Peak Flow Rate (m ³ /s)	Peak Flow Rate (m ³ /s)
10% Existing	-	0	30 minute	0.103	0.402
10% Developed	10 minute	0.158	30 minute	0.099	0.293
1% Existing	-	0	25 minute	0.113	0.719
1% Developed	15 minute	0.263	25 minute	0.108	0.552

For peak flows in a major 1% AEP design storm, there is a 263 L/s increase in flow to the northern lake and a 172 L/s decrease in flow to the southern lake. In this alternate scenario, the balance has also been shifted to the north due to an increased catchment captured by underground drainage which

previously ran off to the sports fields. Overall, there is still a net increase of 91 L/s peak flow due to the development. Again, with the increase being small, there would still be no proposal to detain the flows through a basin or similar.

Distributing catchments differently in terms of stormwater quantity makes little difference as all the flow ends up at Kilcoy Creek anyway. It is more efficient for the development to distribute more stormwater to the northern lake instead of spilling over the sports fields. In the 1% AEP design storms, peak flows onto the sports field are reduced by 167 L/s in the developed case. This is a more favourable outcome, as excess flows from the northern lake can be more safely conveyed to Kilcoy creek with the informal spillway and channel.

5 STORMWATER QUALITY

5.1 Water Quality Modelling Methodology

The *State Planning Policy (2017)* and *Water Sensitive Urban Design (WSUD) Technical Design Guidelines for South East Queensland (2006)* provides recommended targets for reduction of mean annual loads for various pollutants. In addition, the *Seqwater Development Guidelines for Water Quality Management in Drinking Water Catchments (2017)* require a higher reduction target for developments within the drinking water catchment. The required targets for this site are shown in Table 5 below:

Table 5: Recommended Pollutant Reduction Targets

Aspect / Pollutant	SPP Rection Target	SEQ Water Reduction Target (adopted standard)
Total Suspended Solids (TSS) (kg/yr)	80%	85%
Total Phosphorus (TP) (kg/yr)	60%	65%
Total Nitrogen (TN) (kg/yr)	45%	45%
Gross Pollutants (GP) (kg/yr)	90%	95%

Generally, the development of land results in a worsening of water quality, due to the increase in impervious area and higher pollutant presence as population and use increases in an area. The MUSIC software, produced by eWater has been utilised for this report to model the effects on water quality as development increases. The software is widely used in industry for best practice modelling of stormwater quality.

To calibrate the model, data from the rainfall station Kirkleagh (040318) was used for this region as recommended by *MUSIC Modelling Guidelines (2018)* with the representative period from 1980 to 1989. Catchment areas for each stage were split into three distinct surface types within the MUSIC models, being roads (100% impervious); ground (10% impervious); and roof to drain (100% impervious). The impervious areas were estimated from design plans undertaken for this project and aerial imagery.

5.2 Water Quality Treatment Devices

To meet the recommended pollutant reduction targets, various treatment devices and strategies were considered and modelled. The existing site already has some stormwater quality treatment benefits in the form of existing lakes and swales. There is a grass swale on the northern edge of the sports fields, which discharges into another larger swale conveying water to the southern lake. The lakes would have some treatment capability, but these were not modelled, given their catchment is much larger and it would be difficult to determine treatment benefit just for the development area. A grass swale adjacent to Hope Street East also exists which leads to a culvert under Seib Street and discharges to Kilcoy Creek. The stormwater quality design scenario relies on the overland flow from the Hope Street East catchment spilling into the existing swale, rather than being captured by other means such as kerb and channel. Catchments and swales used to model stormwater quality are shown below in Figure 9:

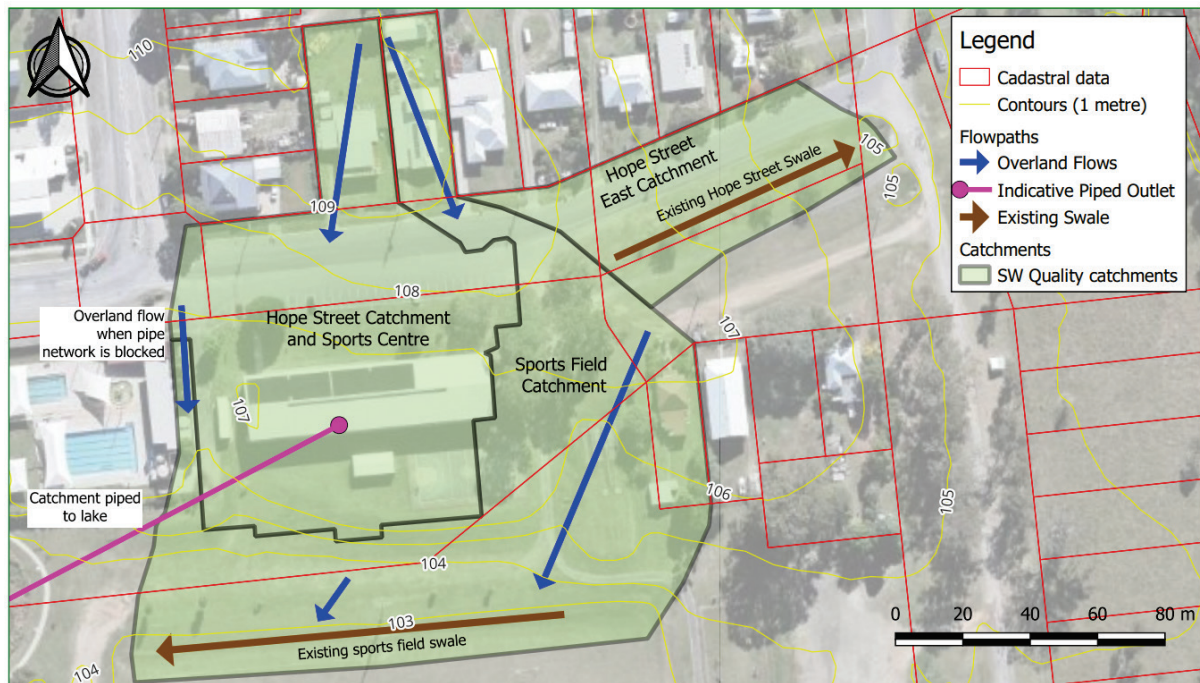


Figure 9: Stormwater Quality Catchments and Swales used for Modelling

Gross Pollutant Traps (GPTs) were modelled in MUSIC based on the HumeGard proprietary product, with the pollutant loadings modelled using the MUSIC modelling node provided on the HUMES website. From the modelling, a suitably sized HumeGard product was adopted. This product may need to be reviewed during the detailed design phase once the stormwater pipe network is modelled and an outlet pipe size is known.

Bioretention basins are a tertiary treatment device and are generally formed by shallow depressions that are heavily vegetated and contain sand filter media. Pollutants are removed via filtration through the media and by biological processing of nutrients by the plants and soil. Bioretention basins proposed for this development have been modelled in accordance with the MUSIC Modelling Guidelines (*Water by Design*, 2018) and further detailed design and construction will be in accordance with the Bioretention Technical Design Guidelines (*Water by Design*, 2014).

Universal Pollutant Traps (UPTs) were modelled in MUSIC and are a new product in the HUMES stormwater quality suite of products. The technology is new to the market but has been independently tested and verified by Stormwater Quality Improvement Device Evaluation Protocol (SQIDEP). The unit includes a low flow bypass through a chamber which has multistage treatment including coarse sediment removal, media, and membrane filtrations. The advantage of these systems is the elimination of bioretention basins which occupy large amounts of space and are potentially a maintenance burden to the asset owner.

5.3 Water Quality Modelling Results

The proposed treatment options and their properties are shown in Table 6 below:

Table 6: Proposed Treatment Options

Option	Location	Treatment Details
1. Bioretention Basin	Hope Street Catchment and Sports Centre	Bioretention Basin <ul style="list-style-type: none"> Filter area (base) of 50 m² Basin area (top internal) of 114.23 m² Extended detention depth of 300 mm Filter depth of 600 mm
	Sports field Catchment	Existing Sports Field Swale <ul style="list-style-type: none"> Base width of 0 m (V-drain) Top width of 11.1 m Depth of 430 mm Vegetation height 50 mm (Grass only) Existing Swale to Southern Lake <ul style="list-style-type: none"> Base width of 1.0 m Top width of 8.0 m Depth of 200 mm Vegetation height 50 mm (Grass only)
	Hope Street East Catchment	Existing Swale between road and path <ul style="list-style-type: none"> Base width of 12 m Top width of 24 m Depth of 300 mm Vegetation height 50 mm (Grass only)
2. Bioretention Basin and Gross Pollutant Trap	Hope Street Catchment and Sports Centre	Bioretention Basin <ul style="list-style-type: none"> Filter area (base) of 25 m² Basin area (top internal) of 73.96 m² Extended detention depth of 300 mm Filter depth of 600 mm Gross Pollutant Trap (HumeGard HG15) <ul style="list-style-type: none"> Treatment flow rate of 130 L/s

Option	Location	Treatment Details
	Sports Field Catchment	<p>Existing Sports Field Swale</p> <ul style="list-style-type: none"> – Base width of 0 m (V-drain) – Top width of 11.1 m – Depth of 430 mm – Vegetation height 50 mm (Grass only) <p>Existing swale to southern lake</p> <ul style="list-style-type: none"> – Base width of 1.0 m – Top width of 8.0 m – Depth of 200 mm – Vegetation height 50 mm (Grass only)
	Hope Street East Catchment	<p>Existing Swale between road and path</p> <ul style="list-style-type: none"> – Base width of 12 m – Top width of 24 m – Depth of 300 mm – Vegetation height 50 mm (Grass only)
3. Universal Pollutant Trap and Gross Pollutant Trap	Hope Street Catchment and Sports Centre	<p>Universal Pollutant Trap (HumeFilter UPT1800)</p> <ul style="list-style-type: none"> – Treatment flow rate of 30 L/s – Gross Pollutant Trap (HumeGard HG12) – Treatment flow rate of 85 L/s
	Sports Field Catchment	<p>Existing Sports Field Swale</p> <ul style="list-style-type: none"> – Base width of 0 m (V-drain) – Top width of 11.1 m – Depth of 430 mm – Vegetation height 50 mm (Grass only) <p>Existing Swale to Southern Lake</p> <ul style="list-style-type: none"> – Base width of 1.0 m – Top width of 8.0 m – Depth of 200 mm – Vegetation height 50 mm (Grass only)
	Hope Street East Catchment	<p>Existing Swale between road and path</p> <ul style="list-style-type: none"> – Base width of 12 m – Top width of 24 m – Depth of 300 mm – Vegetation height 50 mm (Grass only)

The results from modelling with the proposed treatment devices for Options 1, 2 and 3 are shown below in Table 7; Table 8 and Table 9 respectively:

Table 7: Water Quality Modelling Results - Option 1 Bioretention Basin

Pollutant	Base Load	Mitigated Load	% Reduction	Target
Total Suspended Solids (kg/yr)	2070	222	89.3%	85%
Total Phosphorous (kg/yr)	4.03	1.13	72%	65%
Total Nitrogen (kg/yr)	24.8	13.6	45%	45%
Gross Pollutants (kg/yr)	252	0.0348	100%	95%

Table 8: Water Quality Modelling Results - Option 2 Bioretention Basin and GPT

Pollutant	Base Load	Mitigated Load	% Reduction	Target
Total Suspended Solids (kg/yr)	2060	207	89.9%	85%
Total Phosphorous (kg/yr)	4.04	1.17	71%	65%
Total Nitrogen (kg/yr)	24.7	13.6	45%	45%
Gross Pollutants (kg/yr)	252	0.0146	100%	95%

Table 9: Water Quality Modelling Results - Option 3 UPT and GPT

Pollutant	Base Load	Mitigated Load	% Reduction	Target
Total Suspended Solids (kg/yr)	2080	200	90.4%	85%
Total Phosphorous (kg/yr)	4.05	1.06	73.8%	65%
Total Nitrogen (kg/yr)	24.7	12.7	48.5%	45%
Gross Pollutants (kg/yr)	252	3.75	98.5%	95%

All three (3) of these options meet the required treatment targets, but there are other considerations for each.

The 50 m² bioretention basin is the cheapest option in terms of upfront construction costs, but there are long term maintenance implications with both time and cost. The basin could be constructed on the reasonably flat land south of the aquatic centre but uses the most space out of the three (3) options (see Figure 10 below):

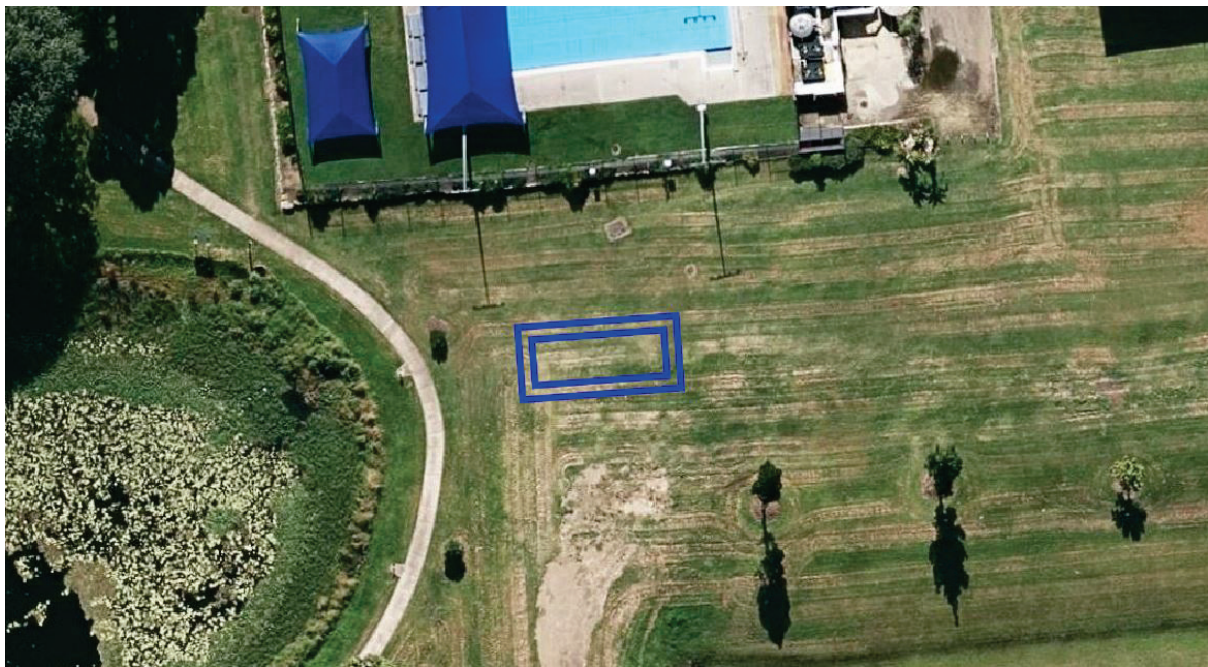


Figure 10: Potential Area for 50 m² Bioretention Basin

A combination of a smaller bioretention basin and a gross pollutant trap will cost significantly more and will still use some land area for the basin. There is also an increased maintenance burden with the need to maintain two types of treatment devices. Figure 11 below shows the impact the basin would have on the land south of the aquatic centre. The gross pollutant trap is fully underground and just needs a clear space around the access manhole to undertake maintenance operations.

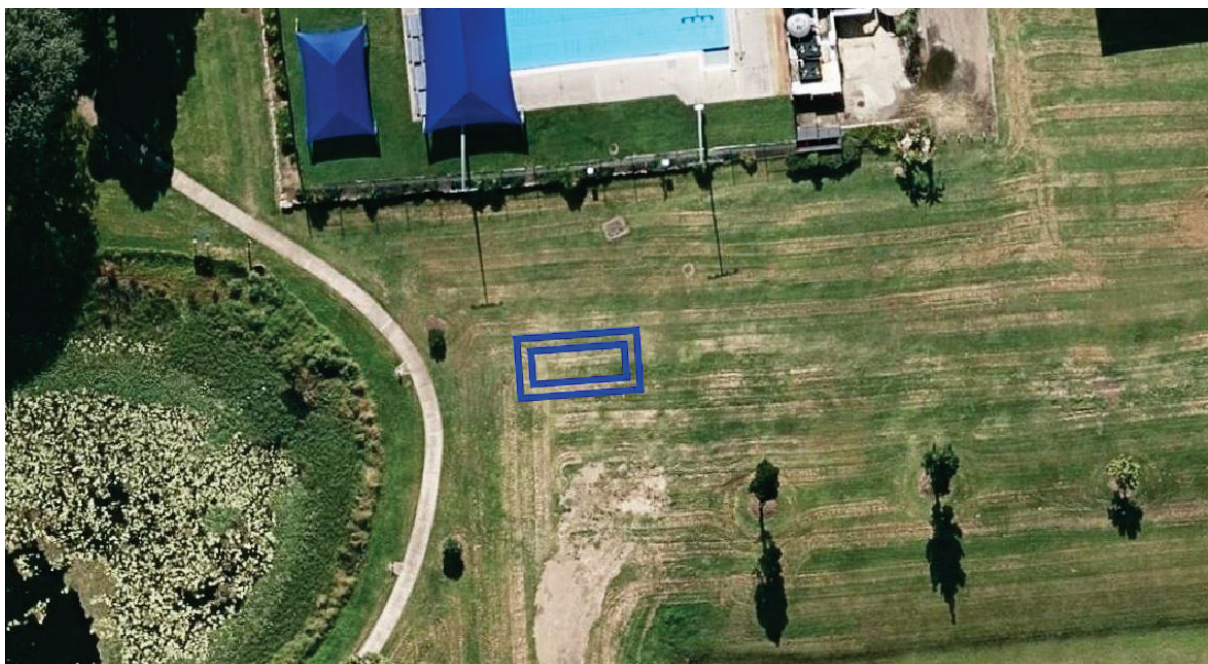


Figure 11: Potential Area for 25 m² Bioretention Basin

The universal pollutant trap option is the most expensive by far but has no impact to the existing land as all of the infrastructure is installed underground. A clear area is still required around the access manhole for maintenance.

Based on cost, Option 1 with the larger bioretention basin is recommended as the best option for stormwater treatment on this development. Other options may be investigated if available space becomes an issue, or if Council has an opinion on their own maintenance requirements for these devices. A layout of the existing and required stormwater quality devices based on the recommended Option 1 is shown below in Figure 12:

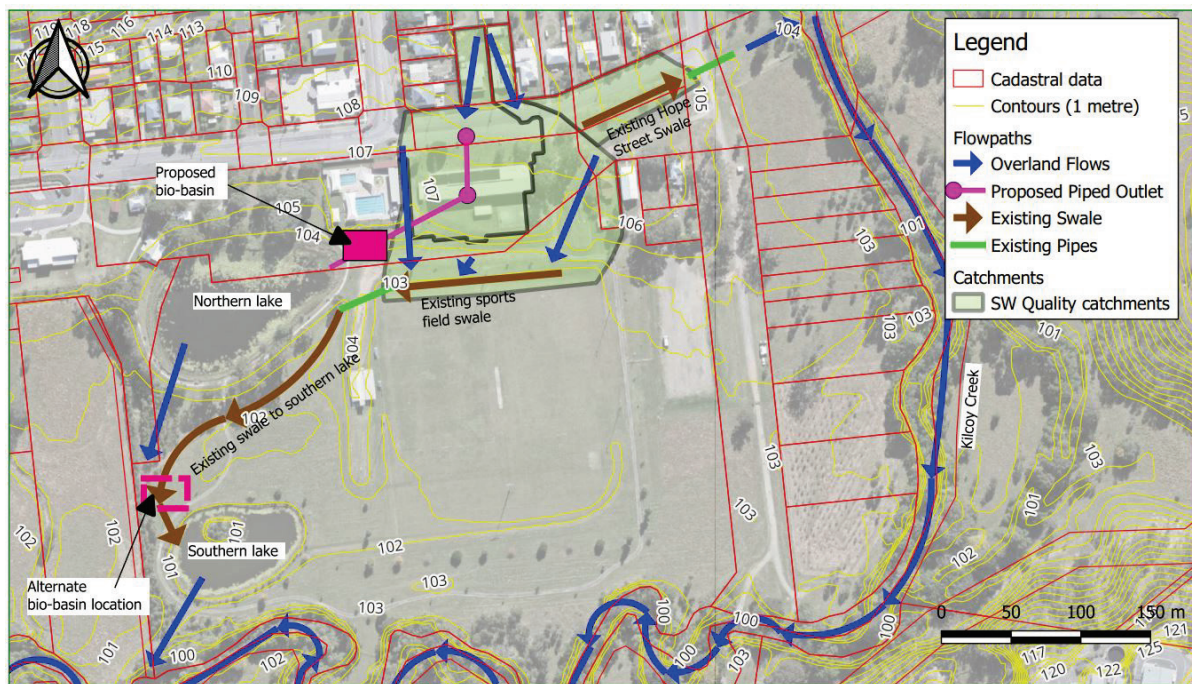


Figure 12: Stormwater Quality Layout for the Sports Centre Site

5.4 Alternative Catchment Distribution

An alternate catchment layout was analysed in terms of stormwater quality, with the catchment distributions the same as discussed in Section 4.4 of this report. The most favourable stormwater quality option of a single bio-retention basin was investigated to see the impacts of re-distributing the catchment from the sports centre roof to the southern swale. The required treatments for change to this catchment are provided in Table 10 below:

Table 10: Proposed Treatment Options for Alternate Catchment Layout

Option	Location	Treatment Details
Bioretention Basin Only	Hope Street Catchment	Bioretention Basin <ul style="list-style-type: none"> Filter area (base) of 65 m² Basin area (top internal) of 135 m² Extended detention depth of 300 mm Filter depth of 600 mm

Option	Location	Treatment Details
	Sports field and Sports Centre Catchment	<p>Existing Sports Field Swale</p> <ul style="list-style-type: none"> – Base width of 0 m (V-drain) – Top width of 11.1 m – Depth of 430 mm – Vegetation height 50 mm (Grass only) <p>Existing Swale to Southern Lake</p> <ul style="list-style-type: none"> – Base width of 1.0 m – Top width of 8.0 m – Depth of 200 mm – Vegetation height 50 mm (Grass only)
	Hope Street East	<p>Existing Swale between road and path</p> <ul style="list-style-type: none"> – Base width of 12 m – Top width of 24 m – Depth of 300 mm – Vegetation height 50 mm (Grass only)

A slightly larger bio-retention basin is needed before the outlet to the northern lake in this scenario. The size increase is to overtreat the water coming from the Hope Street carpark catchment area and supplement the other catchments which are only treated with natural swales. The requirement for nitrogen reduction is what drives the size of the bio-retention basin. There is still adequate room for a 65 m² bio basin before the outlet at the northern lake (as shown in Figure 13 below), however an alternate location between the north and south lakes could be investigated if other constraints existed.

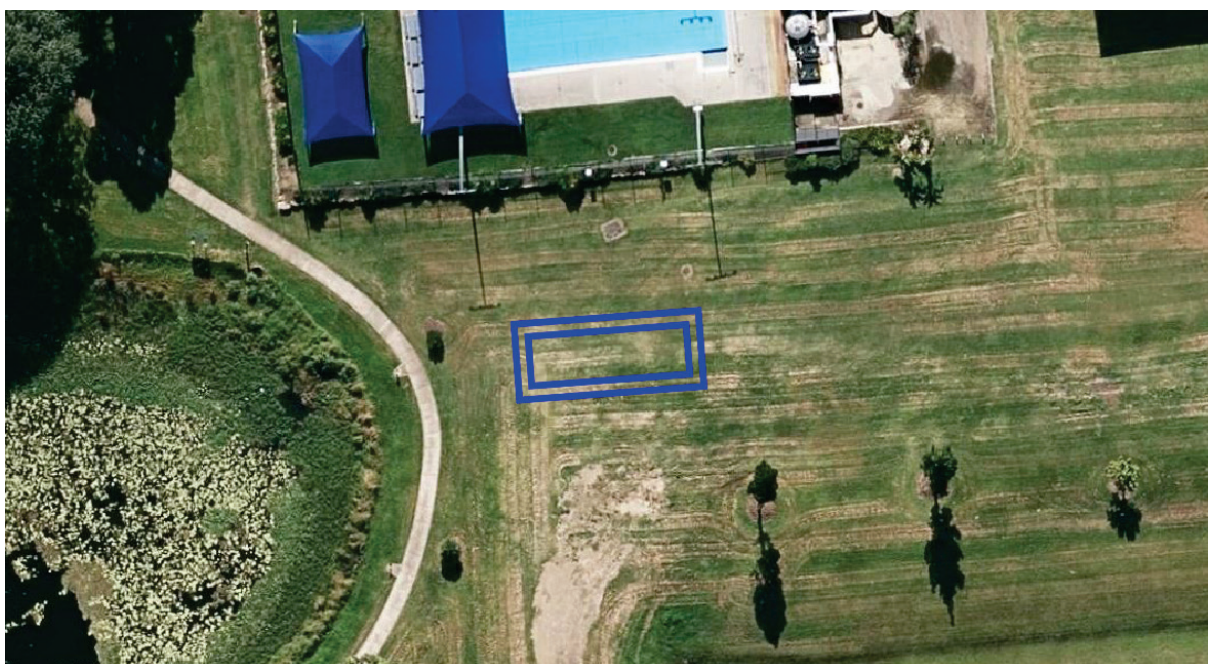


Figure 13: Potential Area for 65 m² Bioretention Basin

Ideally, the catchment from the sports centre roof should be diverted through the bio-retention basin to reduce the need for a larger sized basin which overtreats the other catchments. The catchment distribution in terms of stormwater quality, therefore, has limited impact on the viability of the strategy.

6 RECOMMENDATIONS

This Concept Stormwater Management report has been formed based on assumptions from an onsite assessment, modelling calculations and concept architectural plans.

A summary of the stormwater hydrological and hydraulic modelling undertaken for this report is as follows:

- Hydrological and concept hydraulic models for both the existing case and developed case were modelled using DRAINS utilising ARR2019 methods;
- Comparison of existing and developed flows in a peak 1% AEP design storm found:
 - A 418 L/s increase in flow for the outlet to the northern lake
 - A 286 L/s decrease in flow for the southern catchment (as some of the upstream catchment areas have been rediverted to the northern lake outlet)
 - A 3.0 L/s increase in flow to the Hope Street East car park area;
 - An overall increase in flows, leaving the site of 135 L/s in total as a result of the development.

Recommendations that relate to stormwater quantity include:

- No onsite detention is recommended given that the development site is at the lower end of the catchment; the discharge of runoff into the existing lake; and that there will be no nuisance caused to other properties.
- An overflow route is recommended to be incorporated into the architectural design, to be situated between the swimming pool and sports centre facilities. This overland flow path forms part of the strategy to account for large flows or pit blockages. Throughout the compilation of this report, this has been considered by the architect and incorporated in the latest revision.
- The final recommended stormwater quantity strategy showing indicative pipe networks and overland flow paths is shown in Appendix B of this report.

A summary of the stormwater quality modelling undertaken for this report is as follows:

- Stormwater quality models were assessed using MUSIC software, with data from BoM.
- Treatment options were investigated mainly for the northern catchment, given there are some existing swales to the south.
- The existing lakes onsite were not assumed as stormwater quality treatment devices in this assessment.

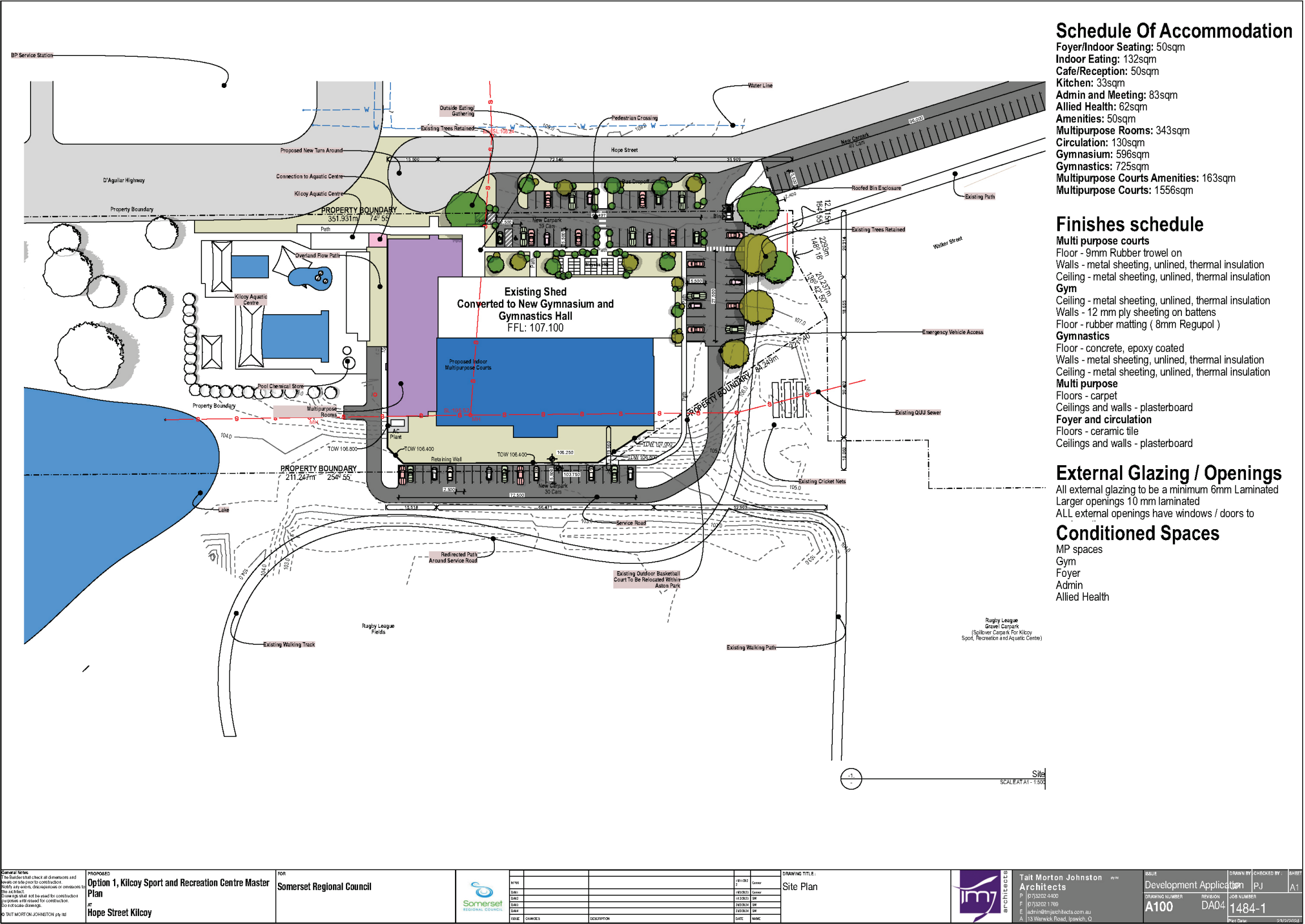
Recommendations that relate to stormwater quality include:

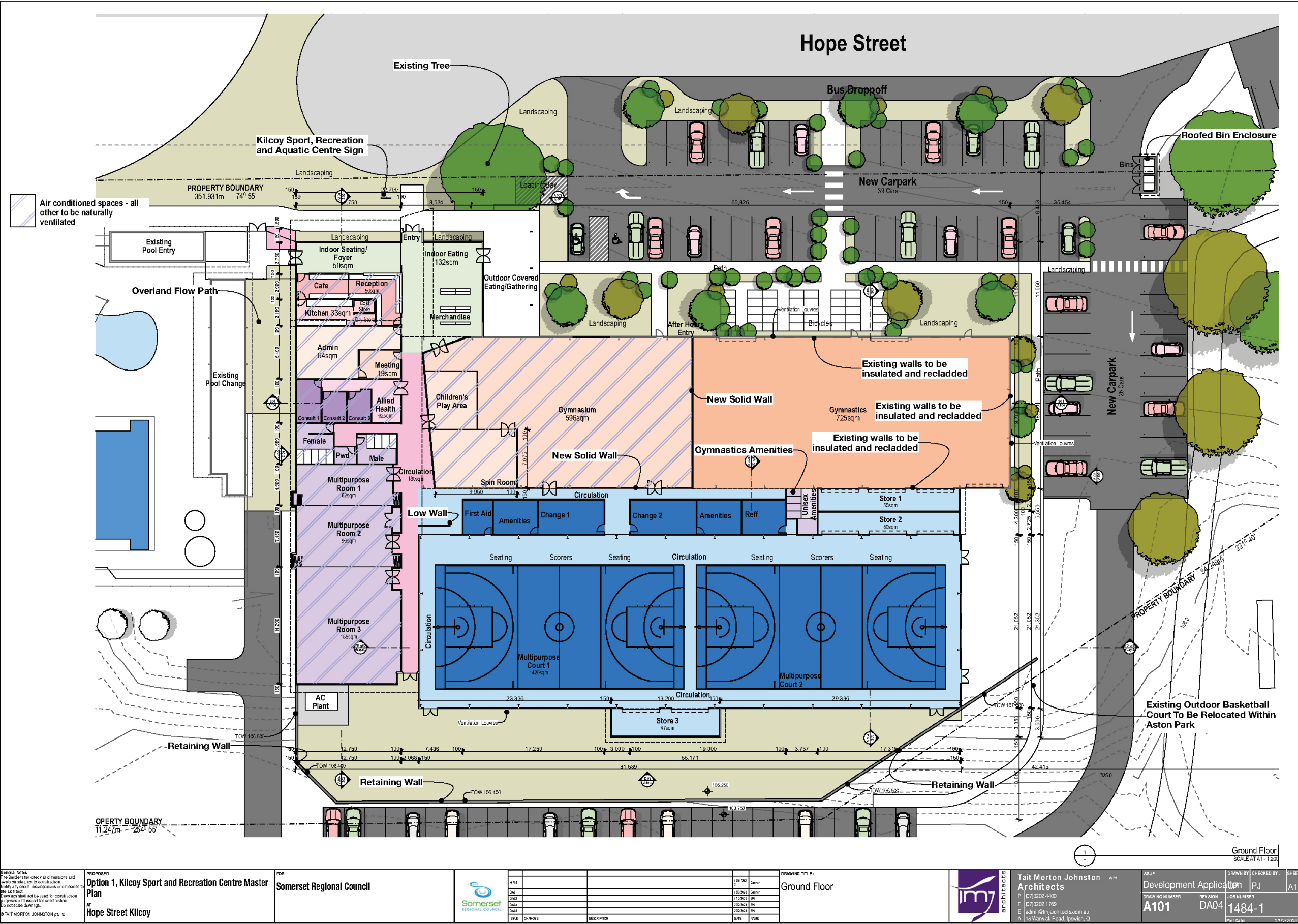
- Stormwater quality objectives can be met via several treatment options, but Option 1, with a larger bioretention basin option, is likely to give the best value for money outcome.
- Therefore, the recommended option is for a 50 m² bioretention basin located adjacent to the existing lake.
- The final recommended stormwater quality strategy is shown diagrammatically in Appendix B of this report.

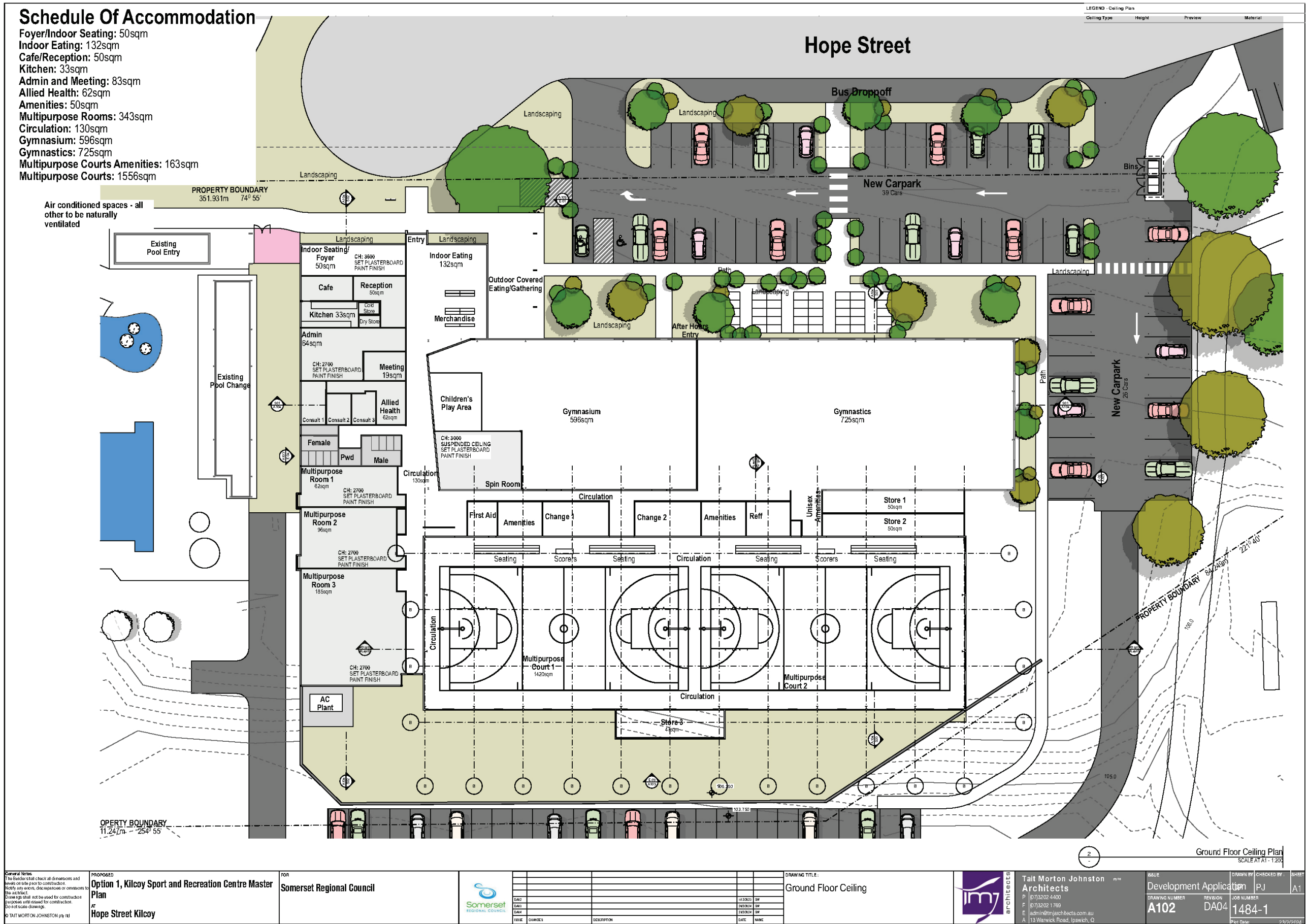
- Further investigations of the underground stormwater network will inform the catchment distribution in detailed design. When designing onsite drainage, every effort should be taken to divert all roof catchments from the sports centre to the northern lake to avoid the need to oversize the bio-retention basin.

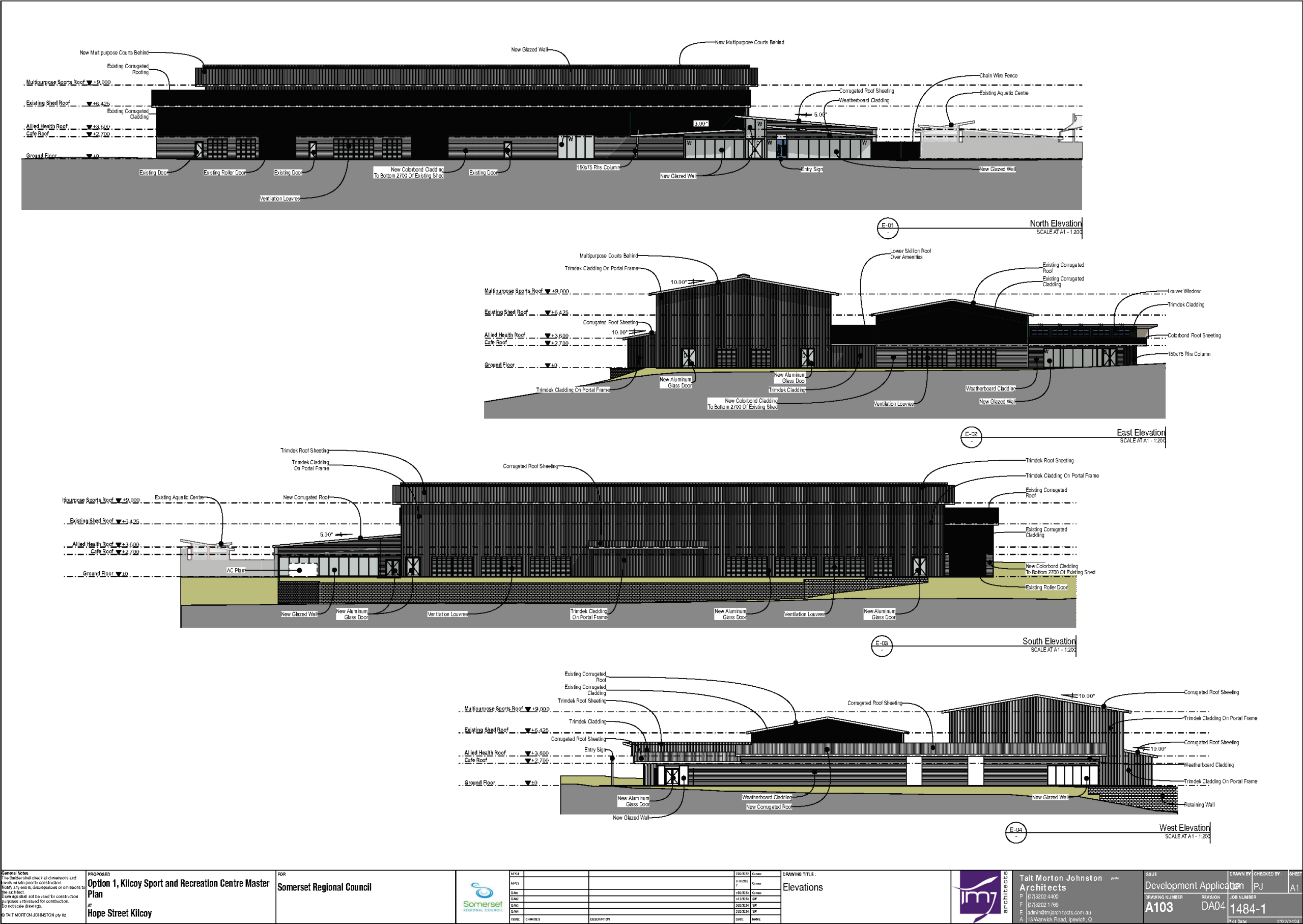
APPENDICES

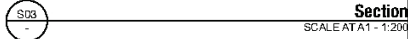
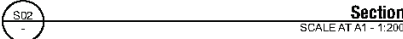
Appendix A- Concept Architectural Plans












ISSUE	CHANGES	DESCRIPTION	DATE	NAME



Page | 26 of 31





View From Hope Street Turn Around

<div>General Note</div> <div>The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings.</div> <div>© TAIT MORTON JOHNSTON (pty) ltd</div>	<div>PROPOSED</div> <div>Option 1, Kilcoy Sport and Recreation Centre Master Plan</div> <div>AT</div> <div>Hope Street Kilcoy</div>	<div>FOR</div> <div>Somerset Regional Council</div>	<div></div> <div>Somerset REGIONAL COUNCIL</div>	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/10/2022	01/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View From D' Aguiar Highway

<div>General Notes</div> <div>The Engineer shall check all dimensions and levels on site prior to construction.</div> <div>Notify any errors, discrepancies or omissions to the architect.</div> <div>Drawings shall not be used for construction purposes unless issued for construction.</div> <div>Do not scale drawings.</div> <div>© TAIT MORTON JOHNSTON Pty Ltd</div>	<div>PROPOSED</div> <div>Option 1, Kilcoy Sport and Recreation Centre Master Plan</div> <div>AT</div> <div>Hope Street Kilcoy</div>	<div>FOR</div> <div>Somerset Regional Council</div>	<div></div>	N154			12/03/23	Center	<div>DRAWING TITLE:</div> <div>Hope Street Render 03</div>	<div></div>	<div>Tait Morton Johnston Architects</div> <div>P 0733022 4400</div> <div>F 0733022 1769</div> <div>E admin@tmjarchitects.com.au</div> <div>A 13 Warwick Road, Ipswich, Q</div>	<div>ISSUE</div> <div>Development Application</div> <div>A108</div>	<div>DRAWN BY</div> <div>PJ</div>	<div>CHECKED BY</div> <div>PJ</div>	<div>SHEET</div> <div>A1</div>							
				N155			10/10/23	Center														
				DA01			18/09/23	Center														
				DA02			11/09/23	SR														
				DA03			20/09/23	SR														
								DA04									20/09/23	SR				
								ISSUE	CHANGES							DESCRIPTION	DATE	NAME				





View Of Reception

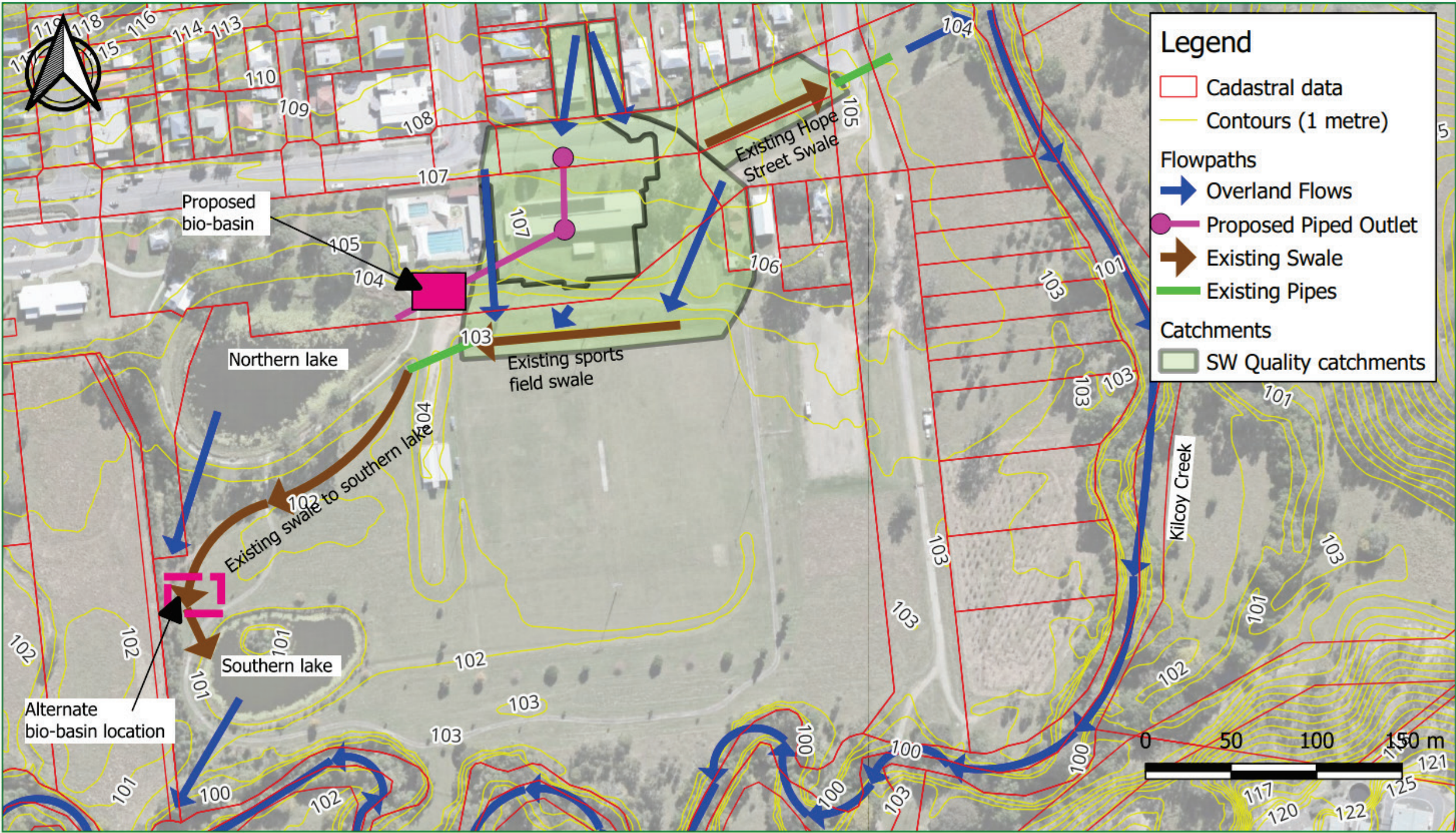
General Notes The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. © TAIT MORTON JOHNSTON pty ltd	PROPOSED Option 1, Kilcoy Sport and Recreation Centre Master Plan AT Hope Street Kilcoy	FOR Somerset Regional Council		W104			2020/02	Owner	DRAWING TITLE: View of Reception Render		Tait Morton Johnston Architects P 073202 4400 F 073202 1769 E admin@tmjarchitects.com.au A 13 Warwick Road, Ipswich, Q	ISSUE Development Application A109	REVISION DA04	JOB NUMBER 1484-1	DRAWN BY PJ	CHECKED BY PJ	SHEET A1										
				W105			2020/02	Owner																			
				CA01			18/02/23	Owner																			
				CA02			18/02/23	SW																			
				CA03			20/03/24	SW																			
								CA04											20/03/24	SW							
								REUSE	CHANGES									DESCRIPTION	DATE	NAME							



View Of Reception

<div>General Notes</div> <div>The Reader shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings.</div> <div>© TAIT MORTON JOHNSTON Pty Ltd</div>	<div>PROPOSED</div> <div>Option 1, Kilcoy Sport and Recreation Centre Master Plan</div> <div>AT</div> <div>Hope Street Kilcoy</div>	<div>FOR</div> <div>Somerset Regional Council</div>	<div></div> <div>Somerset REGIONAL COUNCIL</div>	NO.14			12/01/22	Owner	<div>DRAWING TITLE:</div> <div>View of Retail Area Render</div>	<div></div> <div>Tait Morton Johnston Architects</div> <div>P 07 3202 4400 F 07 3202 1769 E admin@tmjarchitects.com.au A 113 Warwick Road, Ipswich, Q</div>	<div>ISSUE</div> <div>Development Application</div>	<div>DRAWN BY</div> <div>PJ</div>	<div>CHECKED BY</div> <div>A1</div>	<div>SHEET</div> <div>1484-1</div>
				NO.15			11/11/22	Owner						
				DA01			18/01/23	Owner						
				DA02			11/01/23	SR						
				DA03			26/01/24	SR						
				DA04			2/02/24	SR						
				ISSUE	CHANGES	DESCRIPTION	DATE	NAME						

Appendix B- Stormwater Strategy Map



GenEng Solutions Pty Ltd
PO Box 300
CROWS NEST QLD 4355
www.genengsolutions.com.au

Project: Kilcoy Indoor Sports Centre Upgrade
Title: Stormwater Strategy
Client: Somerset Regional Council

Sketch: GS635-SK08
Date: 04/03/24
Revision: A

Development Assessment Rules—Representations about a referral agency response

The following provisions are those set out in sections 28 and 30 of the Development Assessment Rules¹ regarding **representations about a referral agency response**

Part 6: Changes to the application and referral agency responses

28 Concurrence agency changes its response or gives a late response

- 28.1. Despite part 2, a concurrence agency may, after its referral agency assessment period and any further period agreed ends, change its referral agency response or give a late referral agency response before the application is decided, subject to section 28.2 and 28.3.
- 28.2. A concurrence agency may change its referral agency response at any time before the application is decided if—
- (a) the change is in response to a change which the assessment manager is satisfied is a change under section 26.1; or
 - (b) the Minister has given the concurrence agency a direction under section 99 of the Act; or
 - (c) the applicant has given written agreement to the change to the referral agency response.²
- 28.3. A concurrence agency may give a late referral agency response before the application is decided, if the applicant has given written agreement to the late referral agency response.
- 28.4. If a concurrence agency proposes to change its referral agency response under section 28.2(a), the concurrence agency must—
- (a) give notice of its intention to change its referral agency response to the assessment manager and a copy to the applicant within 5 days of receiving notice of the change under section 25.1; and
 - (b) the concurrence agency has 10 days from the day of giving notice under paragraph (a), or a further period agreed between the applicant and the concurrence agency, to give an amended referral agency response to the assessment manager and a copy to the applicant.

¹ Pursuant to Section 68 of the *Planning Act 2016*

² In the instance an applicant has made representations to the concurrence agency under section 30, and the concurrence agency agrees to make the change included in the representations, section 28.2(c) is taken to have been satisfied.

Part 7: Miscellaneous

30 Representations about a referral agency response

30.1. An applicant may make representations to a concurrence agency at any time before the application is decided, about changing a matter in the referral agency response.³

³ An applicant may elect, under section 32, to stop the assessment manager's decision period in which to take this action. If a concurrence agency wishes to amend their response in relation to representations made under this section, they must do so in accordance with section 28.



SARA reference: 2404-40219 SRA
 Council reference: DA24827
 Applicant reference: 11319M

11 June 2024

Chief Executive Officer
 Somerset Regional Council
 PO Box 117
 ESK QLD 4312
 mail@somerset.qld.gov.au

Attention: Mr Mark Westaway

Dear Mr Westaway

SARA referral agency response—35-39 Hope Street, Kilcoy

(Referral agency response given under section 56 of the *Planning Act 2016*)

The development application described below was confirmed as properly referred by the State Assessment and Referral Agency (SARA) on 30 April 2024.

Response

Outcome:	Referral agency response – with conditions
Date of response:	11 June 2024
Conditions:	The conditions in Attachment 1 must be attached to any development approval
Advice:	Advice to the applicant is in Attachment 2
Reasons:	The reasons for the referral agency response are in Attachment 3

Development details

Description:	Development permit	Material Change of Use - Extension to Indoor Sport and Recreation
SARA role:	Referral agency	
SARA trigger:	Schedule 10, part 9, division 4, subdivision 2, table 4, item 1 - Development near a state transport corridor or that is a future state transport corridor	
SARA reference:	2404-40219 SRA	

Assessment manager: Somerset Regional Council

Street address: 35-39 Hope Street, Kilcoy

Real property description: Lot 10 on SP162934 and Lot 306 on SP318221

Applicant name: Somerset Regional Council

Applicant contact details: c/- ONF Surveyors, PO Box 896
Kingaroy QLD 4610
admin@onfsurveyors.com.au

Human Rights Act 2019 considerations: A consideration of the *Human Rights Act 2019* has been undertaken as part of this decision. It has been determined that this decision does not limit human rights.

Representations

An applicant may make representations to a concurrence agency, at any time before the application is decided, about changing a matter in the referral agency response (section 30 of the Development Assessment Rules). Copies of the relevant provisions are in **Attachment 4**.

A copy of this response has been sent to the applicant for their information.

For further information please contact Stephanie Brannock, Planning Officer, on (07) 3432 2414 or via email IpswichSARA@dsdilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Kieran Hanna
Manager (Planning)

enc Attachment 1 - Referral agency conditions
 Attachment 2 - Advice to the applicant
 Attachment 3 - Reasons for referral agency response
 Attachment 4 - Representations about a referral agency response provisions

cc Somerset Regional Council c/- ONF Surveyors, admin@onfsurveyors.com.au

Attachment 1—Referral agency conditions

(Under section 56(1)(b)(i) of the *Planning Act 2016* the following conditions must be attached to any development approval relating to this application)

No.	Conditions	Condition timing
Development permit for Material Change of Use - Extension to Indoor sport and recreation		
Schedule 10, part 9, division 4, subdivision 2, table 4, item 1 (Planning Regulation 2017) - Development near a state transport corridor or that is a future state transport corridor —The chief executive administering the <i>Planning Act 2016</i> nominates the Director-General of the Department of Transport and Main Roads to be the enforcement authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition:		
1.	<p>Stormwater management of the development must not cause worsening to the operating performance of state-controlled road, such that any works on the land must not:</p> <ul style="list-style-type: none"> (i) create any new discharge points for stormwater runoff onto the state-controlled road (ii) concentrate or increase the velocity of flows to state-controlled road (iii) interfere with and/or cause damage to the existing stormwater drainage on the state-controlled road (iv) surcharge any existing culvert or drain on the state-controlled road (v) reduce the quality of stormwater discharge onto the state-controlled road (vi) impede or interfere with any overland flow or hydraulic conveyance from the state-controlled road (vii) reduce the floodplain immunity of the state-controlled road. 	At all times.

Attachment 2—Advice to the applicant

General advice	
1.	Terms and phrases used in this document are defined in the <i>Planning Act 2016</i> , its regulation or the State Development Assessment Provisions (SDAP) (version 3.0). If a word remains undefined it has its ordinary meaning.
2.	<p>Road works approval: Under section 33 of the <i>Transport Infrastructure Act 1994</i>, written approval is required from the Department of Transport and Main Roads (DTMR) to carry out road works on a state-controlled road. This includes where road works on a local road occur wholly in partially within a state-controlled road corridor. Provision of the proposed turn around facility on Hope Street is expected to require works within the state-controlled road corridor.</p> <p>Please contact the Department of Transport and Main Roads' on North.Coast.IDAS@tmr.qld.gov.au to make an application for road works approval. This approval must be obtained prior to commencing any works on the state-controlled road reserve. The approval process may require the approval of engineering designs of the proposed works, certified by a Registered Professional Engineer of Queensland (RPEQ). Please contact the Department of Transport and Main Roads' as soon as possible to ensure that gaining approval does not delay construction.</p>
3.	<p>Public utility works and connection approval advice: The applicant is advised that if any works and/or connections are required to public utility services within a State-controlled road reserve, approval must be given by the Department of Transport and Main Roads under the relevant public utility legislation (electricity, water/sewer, telecommunication), and in accordance with TMR technical standards (TN163). Approvals must be obtained prior to commencing any utility works within the state-controlled road reserve. Please contact the public utility team via northcoast@tmr.qld.gov.au for further information on the application and approval process.</p>

Attachment 3—Reasons for referral agency response

(Given under section 56(7) of the *Planning Act 2016*)

The reasons for the SARA's decision are:

With conditions, the development complies with State code 1: Development in a state-controlled road environment of SDAP. Specifically, the development:

- does not increase the likelihood or frequency of accidents, fatalities, or serious injury for users of a state-controlled road
- does not adversely impact the structural integrity or physical condition of state-controlled roads, road transport infrastructure, public passenger transport infrastructure or active transport infrastructure
- does not adversely impact the function efficiency of state-controlled roads or future state-controlled roads
- does not adversely impact the state's ability to plan, construct, maintain, upgrade or operate state-controlled roads, future state-controlled roads or road transport infrastructure
- does not significantly increase the cost to plan, construct, upgrade or maintain state-controlled roads, future state-controlled roads or road transport infrastructure
- maintains access to public passenger transport infrastructure or active transport infrastructure
- does not adversely impact the state's ability to operate public passenger services on state-controlled roads
- protects community amenity from significant adverse impacts of environmental emissions generated by road transport infrastructure or vehicles using state-controlled roads.

Material used in the assessment of the application:

- the development application material and submitted plans
- *Planning Act 2016*
- Planning Regulation 2017
- the SDAP (version 3.0), as published by SARA
- the Development Assessment Rules
- SARA DA Mapping system
- section 58 of the *Human Rights Act 2019*.

Attachment 4—Representations about a referral agency response provisions

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SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Madeline Jelf, Senior planner
Director: Luke Hannan, Director of Planning and Development
Date: 3 September 2024
Subject: Endorsement of Somerset Regional Council Local Housing Action Plan
File Ref: Planning - Regional Development
Action Officer: SP - MJ

Background/Summary

The Queensland Housing and Homelessness Action Plan 2021-2025 (QHHAP) was developed in the context of current and anticipated housing market conditions and need. The plan provides a framework for delivering housing with support that is integrated across government and the community sector. It is a whole of government plan with significant investment and actions to increase housing and provide better support. The QHHAP reaffirms the objectives of The Queensland Housing Strategy to deliver more social and affordable homes and to transform the way housing services are delivered.

The QHHAP includes 20 key actions, including:

- supporting councils to prepare Local Housing Action Plans to identify needs and solutions and help coordinate responses to housing challenges in their communities.

Local Housing Action Plans

Action 5 of the QHHAP recognises the role that local governments play in the supply chain for delivery of housing options across Queensland and seeks to "*Work with regional councils to increase and diversify the supply of housing, including opportunities for alternative government and non-government investment and incentives*".

In March 2023, the Queensland Government funded the Local Government Association of Queensland (LGAQ) to develop 38 local housing action plans (LHAPs) in conjunction with Queensland councils by mid-2024. Somerset Regional Council was identified as one of the local governments to be provided assistance.

A local housing action plan:

- looks at factors impacting housing in a local government area, and current and future housing needs in each community
- identifies priority actions to address immediate, emerging and longer-term housing challenges in the area
- helps to coordinate responses to these challenges.

Each local housing action plan aims to:

- develop agreed priority actions to respond to housing need
- establish strong foundations for longer-term housing responses to improve housing and homelessness outcomes in the region into the future
- incorporate existing information and plans that:
 - help with developing responses to housing need
 - acknowledge work already completed by the council, state agencies, and private and not-for-profit organisations
- enable all stakeholders to work together to deliver the actions identified in the plan.

Council officers in conjunction with the Queensland Government and the (LGAQ) have prepared a LHAP for the region to better understand the challenges and opportunities for housing across the region.

Some key characteristics derived from the LHAP are as follows:

Trend Category	Somerset Region
Population	<p>Population as of 30 June 2022 was 25,391 people.</p> <p>As at the 2021 Census, 4.7% of the Somerset region population, 1,172 people, identified as being Aboriginal and/or Torres Strait Islander people.</p> <p>The population of the Somerset region is projected to grow to 42,200 people by 30 June 2046, according to ShapingSEQ modelling.¹</p>
Age	<p>The median age in the region was 45.3 years as of 30 June 2022 which is significantly higher than the Queensland median of 38.6 years.</p> <p>The median age is projected to rise from 45.3 years to 47.9 years in 2046.²</p>

Trend Category	Somerset Region
Housing Supply	<p>10,291 dwellings were recorded as at the 2021 Census, 96.8% of homes in the Somerset region are detached dwellings with 1.7% semi-detached and only 0.2% flats or apartments.</p> <p>The ShapingSEQ target dwelling count for 2046 is 16,500, an additional 5,600 dwellings.</p>
Vacancy Rate	<p>Rental vacancy rates are extremely low, with a rate of 0.33% as at October 2023.³</p>
Vacant Land	<p>There are 876 broad hectares of land available in the Somerset region with an expected dwelling yield of 6,663, pending additional investigation to promote increased housing diversity options.</p> <p>190 lots were approved from September 2019 to December 2021, however, 360 lots have been approved between March 2022 and September 2023, demonstrating an acceleration of approvals.⁴</p>

¹ ShapingSEQ, South East Queensland Regional Plan 2023

² Queensland Government Statistician's Office, Regional Profile Somerset Region – Population Projection, January 2024.

³ <https://www.realestateinvestor.com.au/Property/queensland/somerset>

⁴ Queensland Government Statistician's Office – Residential Land Supply and Development – Somerset Region LGA.

Trend Category	Somerset Region
Mortgage Affordability	13.7% of homeowners are experiencing mortgage stress with the median monthly mortgage repayment in 2021 of \$1,500.
Rent Affordability.	<p>21.84% of Somerset residents are renters.⁵ In 2021, the median weekly rental price was \$300 (significantly lower than the Queensland median of \$365) with 34.9% of households experiencing rental stress.</p> <p>The median house rent in Esk (for example) is \$420 per week based on 25 rental listings in the 12 months to December 2023—that's an increase of 15% from 2022 levels. Rental demand has increased by 214% in the same period. There was only one rental listed on the site for Esk (as of February 2024).</p> <p>The median house rent in Lowood is \$470 per week based on 68 rental listings in the past 12 months—that's an increase of 12% from 2022. Rental demand has increased by 64% in the same period.</p>
Sales and Pricing	<p>Homes have increased in price in recent years. Lowood's median sale price of houses at \$475,000 (up 15.9% in the 12 months to January 2024) with 99 properties sold in the past 12 months. The median unit price of \$371,500 up 22.4% in 12 months with 23 units sold and 1 currently for sale.</p> <p>In Esk, the median house price is \$455,000 (up 11.7% in 12 months) with 44 properties sold and 14 currently for sale. Only 1 unit has sold in the past 12 months with none currently available for sale.</p> <p>In Kilcoy, where housing demand is taken up significantly by the local employer, an abattoir, the median sale price is currently \$472,500, up by 5% in the 12 months to June 2024.⁶</p>

In an attempt to address the above factors, the LHAP proposes a number of short to long term responses for Council to consider. Some of the proposed responses include initiatives that Council is already implementing. Council officers from both the planning section and Corporate and Community Services Department have reviewed the LHAP and where required, amendments have been included.

One of the initiatives proposed by the LHAP is for Council to prepare a Growth Management Strategy (GMS) that will be critical to the review of the Somerset Region Planning Scheme.

On 27 August 2024 the Queensland State Government released the guideline for the \$12.5 million Scheme Supply Fund, which is an initiative under the *Homes for Queenslanders* plan to assist local governments across Queensland to increase and diversify the supply of housing to meet the changing and growing needs of communities. Somerset Regional Council is eligible for a maximum of \$350,000 from the State Government with a minimum Council co-contribution of 25%.

An Expression of Interest (EOI) for this funding stream opened on 2 September 2024 and will close on 16 September 2024.

An endorsed LHAP is considered beneficial in Council's EOI application to assist funding the preparation a GMS. If successful, Council's co-contribution is available in existing planning scheme review budget.

⁵ <https://www.realestateinvestar.com.au/Property/queensland/somerset>

⁶ *Realestate.com.au – Kilcoy property insights*

Attachments

Somerset Regional Council – Local Housing Action Plan – Queensland Housing Strategy 2017 – 2027.

Recommendation

THAT Council:

1. Endorse the Somerset Regional Council – Local Housing Action Plan – Queensland Housing Strategy 2017 – 2027.
2. Endorse the Chief Executive Officer to submit an Expression of Interest to the Queensland Government's Scheme Supply Fund to assist funding the preparation of a Growth Management Strategy for the Somerset Region.

Somerset Regional Council Local Housing Action Plan

Queensland Housing Strategy

2017-2027 (needs image underlay from council)

DRAFT



Somerset
REGIONAL COUNCIL



Queensland
Government

CONTENTS

1.0	INTRODUCTION.....	4
1.2	Approach and Methodology.....	5
2.0	KEY FACTS.....	6
2.1	Somerset Region.....	6
2.2	First Nations.....	8
3.0	KEY CHARACTERISTICS.....	8
3.1	Demographic Characteristics.....	8
3.2	Housing Characteristics.....	9
3.2	Housing Supply.....	9
3.2.2	Housing Affordability Snapshot.....	10
4.0	KEY FOCUS AREAS.....	12
4.1	Lack of housing choice and diversity.....	12
4.2	Housing for Ageing Population.....	12
4.3	Social and affordable housing.....	13
4.4	Workers Accommodation.....	13
5.0	RESPONSE OPPORTUNITIES.....	14
5.1	Existing Initiatives.....	14
5.2	Actions.....	15
5.3	Next Steps.....	18

Partnership Acknowledgement



The Somerset Regional Council Local Housing Action Plan (LHAP) was developed with the support of the Queensland Government in association with the Local Government Association of Queensland.

Disclaimer

The Somerset Regional Council LHAP is a non-statutory plan and 'living document' prepared as part of the Queensland Housing & Homelessness Action Plan 2021-2025 (Action 5) to support local housing outcomes. This LHAP is not the same as a Housing Strategy under the State Planning Policy, or a housing study, but may inform statutory documents like a planning scheme.

Acknowledgement of Traditional Custodians

Somerset Regional Council acknowledge the Traditional Custodians. Further, we embrace and promote the Somerset region's heritage to incorporate all cultures, their beliefs, and aspirations.

1.0 INTRODUCTION

This Local Housing Action Plan (the Plan) is developed through a joint initiative involving the Queensland Government, Somerset Regional Council, Local Government Association of Queensland (LGAQ) and community housing stakeholders to respond to a range of immediate, emerging, and longer-term housing challenges in the Somerset region.

This is an iterative process that does not intend to duplicate existing actions of Council or the actions under the Queensland Housing Strategy 2017-2027 or the Housing and Homelessness Action Plan 2021-2025. It seeks to identify opportunities, consider an agreed response, develop targeted actions on key priorities and enable ongoing review of effort to adapt and respond to changing need.



Figure 1: The Local Housing Action Plan Iterative Process

The Plan aims to:

1. **develop agreed priority actions** to respond to housing need in the local government area.
2. **establish strong foundations for longer-term housing responses** to assist housing and homelessness outcomes in the local government area into the future.
3. **incorporate existing information and plans** that assist with developing responses to housing need and acknowledge work already completed by council, State agencies, private and not-for-profit organisations.
4. **facilitate targeted interaction between all parties through agreed actions** to ensure a focus on deliverables and projects that can improve housing responses in the short and longer-term.

1.2 Approach and Methodology

The Plan provides an overview of key community and housing characteristics, and emerging issues related to housing in the community and identifies a targeted initial set of priority actions to respond to housing need. It has been developed through a review of a range of supporting documentation including:

- Somerset Regional Planning Scheme
- Regional infrastructure plans
- Relevant Council strategies, reports, and plans
- Economic Development Strategy December 2022
- Investment prospectus December 2022
- The Somerset Social Plan July 2023
- Housing needs assessment, which is currently under consultation and due for completion in Q3 2024
- Statistical data from the Queensland Government Statisticians Office (QGSO), including the ABS Census 2021 and other data sets such as building approvals, rental market data and housing approvals.
- Housing needs data from the Department of Housing and other state agencies as required.
- ShapingSEQ South East Queensland Regional Plan 2023
- Queensland Housing Strategy 2017-2027 and the Housing and Homelessness Action Plan 2021-2025
- Homes for Queenslanders, February 2024.

Emerging issues and opportunities, key challenges and potential responses have been developed from the review of a range of data sets, anecdotal feedback, and preceding engagement opportunities with Council and other stakeholders. This Plan provides an overview of available information as a basis for discussion and decision making. It should not be viewed in isolation but considered as part of broad response to supporting housing need across the State.

2.0 KEY FACTS

2.1 Somerset Region

The Somerset region is an hour by car northwest of Brisbane and is neighboured by the local governments of Lockyer Valley, Toowoomba, South Burnett (west); Ipswich City (south); Brisbane City, Moreton Bay, Sunshine Coast (east); and Gympie (north). The Somerset local government area (LGA) covers the largest land area of all Southeast Queensland councils, being 5382m². State forests in the north, Conondale, and D'Aguilar National Parks in the east and the Somerset and Wivenhoe dams are significant natural and resource assets for the region, physically separating the region from the eastern coastal centres. Large portions of the region are protected for their regional biodiversity or status as one of the nation's significant food bowls.

Somerset has strong agricultural, environmental, heritage and tourism values. Key agricultural industries in the region includes horticulture, intensive crops, unique/niche crops, turf, beef and poultry,¹

Somerset has five (5) major townships, Esk (administrative centre), Fernvale, Kilcoy, Lowood, and Toogoolawah. The region is home to approximately 25,000 people and is expected to grow to an estimated 42,200 by 2046.² Somerset Council nominated Lowood as an *SEQ Great Place* as a focal point for development. Each of these townships have unique features and needs when it comes to housing, with variations in employment sectors, locations, and affordability. Refer to the Somerset Social plan for descriptors of each of the townships in more detail.

The towns of Esk and Fernvale are closer to the urban centre of Ipswich, whereas Kilcoy is physically closer and more accessible from Caboolture, with Toogoolawah equidistant to both. As a result, the different townships have correspondingly different regional connections and housing needs.

The abattoir in Kilcoy, along with other food processors are significant employers in the region. The tourism sector is a growing employer, with people attracted by the region's natural and heritage assets. These industries have competing demands for limited long and short-term accommodation.

The protection of the rural areas of Somerset for sustainable food and water sources will require continued planning management and diverse housing types to limit urban footprints, balanced with the needs to build resilient communities, some of which are within floodplains. The potential urban growth area of Glamorgan Vale, on the southern border with Ipswich is identified in SEQ Regional plan.

¹ *Somerset Investment Prospectus, December 2022.*

² *ShapingSEQ population projections, 2023.*



Figure 2: Map of townships within the Somerset Regional Council LGA

2.2 First Nations

The Kabi Kabi, Dungibara, Jagera, Yuggera Ugarapul, and Jinibara are acknowledged as the traditional custodians of the region.³

Approximately 4.7% of the Somerset population identified as First Nations (Aboriginal and/or Torres Strait Islander). When compared across the townships, most First Nations people (as a proportion of the population) are living in Coominya (9.6%), Lowood (6.9%) and Fernvale (6.5%).⁴

There are several housing providers in the Somerset local government area, but none exclusively providing services to First Nations' peoples.

Council strives to understand and be inclusive of all cultures, identify housing opportunities and engage with Aboriginal and Torres Strait Islander people to inform housing actions.

3.0 KEY CHARACTERISTICS

3.1 Demographic Characteristics

Table 2 below outlines the key demographic trends for the Somerset region.

Table 1: Summary of key demographic information for the Somerset region from the QGSO Regional Profile of Somerset.

Trend Category	Somerset Region
Population	<p>Population as of 30 June 2022 was 25,391 people.</p> <p>As at the 2021 Census, 4.7% of the Somerset region population, 1,172 people, identified as being Aboriginal and/or Torres Strait Islander people.</p> <p>The population of the Somerset region is projected to grow to 42,200 people by 30 June 2046, according to ShapingSEQ modelling.⁵</p>
Age	<p>The median age in the region was 45.3 years as of 30 June 2022 which is significantly higher than the Queensland median of 38.6 years.</p> <p>The median age is projected to rise from 45.3 years to 47.9 years in 2046.⁶</p>
Household Composition	<p>The percentage of one family house households was 71.4%</p>
Family Composition	<p>The family composition most represented within the Somerset region are couple families with no children. As of 2021, 45.5% of families reported this composition, with couple families with children at 37.0 % and one-parent families at 16.3%.</p>
Family Incomes	<p>As at Census 2021, the median weekly family income was \$1,517.</p>

³ [Somerset Social Plan 2023](#)

⁴ [ABS Census 2021, Aboriginal and/or Torres Strait Islander Quickstats, Somerset](#)

⁵ [ShapingSEQ, South East Queensland Regional Plan 2023](#)

⁶ [Queensland Government Statistician's Office, Regional Profile Somerset Region – Population Projection, January 2024.](#)

Migration	<p>79.3% of Census respondents were born in Australia. 3.4% were born in England, 2.7% from New Zealand, 2.5% from the Philippines, and 0.4% from both Germany and Scotland.</p> <p>Migration five years ago in Somerset region with different address was 39.6% which equates to 15,365 persons having a different address.</p>
Cultural Backgrounds	<p>As of 2021, the top non-English speaking countries from which Somerset residents originate are the Philippines, China, Germany, and Vietnam. Some regions of Somerset are more culturally diverse than others. Ilcoy has a large multi-cultural community with 31.8% of the population born overseas, many of whom are Filipino and abattoir workers.⁷</p>

Housing Implications

Analysis of key demographic characteristics indicates several implications for housing in the region, including:

- A trend of an ageing population is particularly pronounced in the region. The region's older demographic will most likely see the housing needs of the region evolve, leading to increased demand for accessible housing options.
- The family composition trends show couples without children are the most common family type. This may mean preferences for more compact housing options and a need for more diverse housing to accommodate their needs.
- The increasing cultural diversity within the region indicates the need for culturally inclusive and responsive services⁸ and diverse housing, including affordable, short term, long term, and accessible dwellings for the diverse workforce.

Ensuring a sufficient and suitable housing supply is crucial for maintaining diversity in the region's demographic and age profiles. Without an available housing stock, the region may face challenges in attracting new residents, leading to a continued ageing population and significant economic, labour force, and productivity implications.

3.2 Housing Characteristics

3.2 Housing Supply

Snapshot

Table 2: Summary of key Housing Supply information for the Somerset Region.

Trend Category	Somerset Region
Housing Supply	<p>10,291 dwellings were recorded as at the 2021 Census, 96.8% of homes in the Somerset region are detached dwellings with 1.7% semi-detached and only 0.2% flats or apartments.</p> <p>The ShapingSEQ target dwelling count for 2046 is 16,500, an additional 5,600 dwellings.</p>
Vacancy Rate	Rental vacancy rates are extremely low, with a rate of 0.33% as at October 2023. ⁹

⁷ [Somerset Social Plan 2023 pg. 36](#)

⁸ [Somerset Social Plan 2023 pg. 36](#)

⁹ <https://www.realestateinvestar.com.au/Property/queensland/somerset>

Vacant Land	<p>There are 876 broad hectares of land available in the Somerset region with an expected dwelling yield of 6,663, pending additional investigation to promote increased housing diversity options.</p> <p>190 lots were approved from September 2019 to December 2021, however, 360 lots have been approved between March 2022 and September 2023, demonstrating an acceleration of approvals.¹⁰</p>
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Housing Implications

Analysis of key housing supply characteristics indicates several implications for the region, particularly:

- There is an evident lack of housing diversity in the region which will lead to challenges in accommodating the diverse needs of the growing and ageing population in the region, potentially exacerbating issues related to affordability, accessibility, and overall housing suitability.
- As in most of the State, the Somerset region has extremely low rental vacancy rates, which constrains the ability for people to move to or around the region.
- High demand for housing outside of the predominant existing dwelling house typology such as shared housing, worker accommodation, motels hostels, aged care spaces and multiple dwellings

3.2.2 Housing Affordability Snapshot

Snapshot

The following section outlines key statistics relation to housing affordability in the Somerset region (see Table 4).

Table 3: Summary of key Housing Affordability information for the Somerset Region 2021 (as per Census 2021)

Trend Category	Somerset Region
Mortgage Affordability	13.7% of homeowners are experiencing mortgage stress with the median monthly mortgage repayment in 2021 of \$1,500.
Rent Affordability.	<p>21.84% of Somerset residents are renters.¹¹ In 2021, the median weekly rental price was \$300 (significantly lower than the Queensland median of \$365) with 34.9% of households experiencing rental stress.</p> <p>The median house rent in Esk (for example) is \$420 per week based on 25 rental listings in the 12 months to December 2023—that's an increase of 15% from 2022 levels. Rental demand has increased by 214% in the same period. There was only one rental listed on the site for Esk (as of February 2024).¹²</p> <p>The median house rent in Lowood is \$470 per week based on 68 rental listings in the past 12 months—that's an increase of 12% from 2022. Rental demand has increased by 64% in the same period.¹²</p>

¹⁰ [Queensland Government Statistician's Office – Residential Land Supply and Development – Somerset Region LGA.](#)

¹¹ <https://www.realestateinvestar.com.au/Property/queensland/somerset>

Sales and Pricing

Homes have increased in price in recent years. Lowood's median sale price of houses at \$475,000 (up 15.9% in the 12 months to January 2024) with 99 properties sold in the past 12 months. The median unit price of \$371,500 up 22.4% in 12 months with 23 units sold and 1 currently for sale.

In Esk, the median house price is \$455,000 (up 11.7% in 12 months) with 44 properties sold and 14 currently for sale. Only 1 unit has sold in the past 12 months with none currently available for sale.

In Kilcoy, where housing demand is taken up significantly by the local employer, an abattoir, the median sale price is currently \$472,500, up by 5% in the 12 months to June 2024.¹²

Housing Implications

It is important to note that the above costs of living were recorded in 2021, and there has been a significant shift in both the mortgage and rental market in the intervening three years as is demonstrated by the two suburb examples given. Implications for housing of the tight market:

- Demand is exceeding supply in all facets of housing needs at present in the region. A co-ordinated, responsible, strategic, and innovative solution is required to promote supply.
- challenges compounded by minimal supply variation, limited housing options and variants, low rental supply, high key worker housing demands.
- high proportion of significantly disadvantaged socio-economic population in increasingly costly rental accommodation including a large and aging population living alone in traditional single unit dwellings.

¹² [Realestate.com.au – Kilcoy property insights](https://www.realestate.com.au/insights/kilcoy-property-insights)

4.0 KEY FOCUS AREAS

Areas of focus have been determined through a review of existing data and engagement with stakeholders as identified in the methodology. These focus areas will be considered when identifying and prioritising actions.

4.1 Lack of housing choice and diversity

The overwhelming majority of Somerset homes are single detached dwellings – 96.8% - while 1.7% were semi-detached and only 0.2% were apartments, with 1.3% other.

The demographic changes projected to 2046, as outlined above, show that small dwellings (i.e., townhouses, duplexes, secondary dwellings, dwelling units etc.) will be required in greater numbers as the region changes, and these small dwellings are potentially achievable in various zones and localities across the region.

The cost of infrastructure is a primary barrier to bringing smaller lot or multi-unit developments to market.

4.2 Housing for Ageing Population

The Queensland Government's *Healthy Ageing Strategy* indicates there is increasing desire among older people to age in place, that is, continuing to live in their communities as they get older. The ability to age in place depends on multiple factors, including access to appropriate housing, transport, health services, and social participation.

The QGSO population projections (2023 series) which suggests that the proportion of Somerset Region residents aged 65+ will be over 28% by 2041. This demographic trend indicates that the population of the Somerset region will continue to have a higher percentage of people in the older age bracket than the Queensland average.

Addressing the needs of this ageing population necessitates a broader range of housing options. This involves offering diverse dwelling sizes, styles, and tenures to cater to the older demographic seeking downsizing alternatives, beyond traditional aged care accommodations. Potential options include independent living units (ILUs) in retirement villages or over 55s accommodation, as well as a growing demand for specialised aged care facilities like assisted living and nursing homes. Focus groups and survey indicates that older people are looking to downsize but they were not indicating that they wanted to be part of retirement complexes. Other key findings expressed include:

- They want to be part of small cluster style or villa style housing, basic living, nothing fancy, low set, accessible, 2 bedroom, courtyard with maybe a community room for a visiting service or gathering point.
- A need for both owner occupied and affordable rental style.
- Preference for detached rather than attached style.
- Located close to a town centre.

The ageing population poses a significant challenge for the region in the coming decades, and this issue is compounded by the limited diversity in housing stock. As of 30 June 2023, there are three aged care services providing 111 operational places.¹³

¹³ Queensland Regional Profiles: Resident Profile: [Somerset \(R\) LGA \(ASGS 2021\)](#)

4.3 Social and affordable housing

The Somerset Social Plan Theme 7: Housing Affordability and Availability¹⁴ goes into detail regarding demand for housing and supports in the region, such as:

In Esk and Toogoolawah, there is a need for affordable housing for older people. In Kilcoy there is a lack of affordable rental stock due to the pressure from the expanding Kilcoy Global Foods.

As of September 2023, there were ten (10) active applications for social housing with two (2) applicants having their applications active for over four (4) years each.¹⁵ There are currently 20 social homes in the region.¹⁶

Estimates from the 2021 census state that approximately 52 individuals were experiencing homelessness in the Somerset region¹⁷. There is a mobile support program along with support centres that work as outreach from both Ipswich and Caboolture.

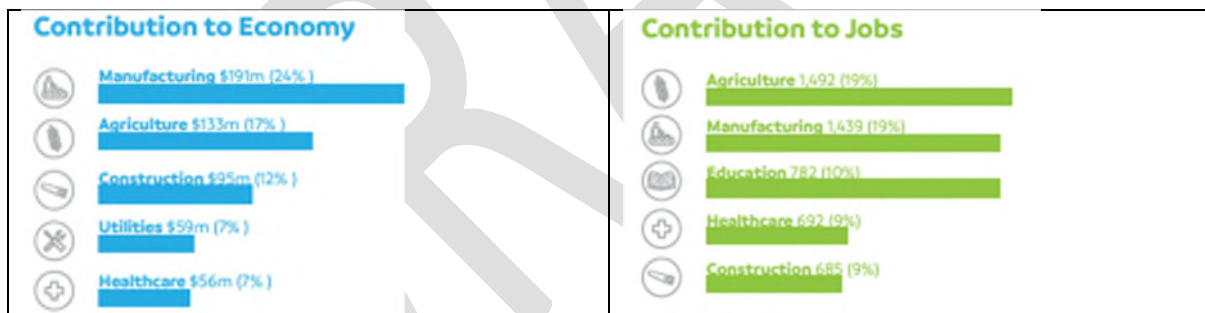
Housing as a critical response in times of natural disasters such as fire and floods which have affected the region and its infrastructure is essential for community recovery. Planning for and allowing for infrastructure for short term and emerging accommodation responses will assist in community recovery for future events.¹⁸

Community services register:

<https://www.somerset.qld.gov.au/directory/1/business-and-community-directory/category/28>

4.4 Workers Accommodation

The Somerset Economic Development Strategy (December 2022) indicates (noting that manufacturing includes food processing):



The townships of the Somerset LGA have differing needs to accommodate for their varied workforces. In Kilcoy, the local abattoir employs hundreds of people. The predominantly migrant workforce means a large portion of the community is defined as itinerant. This large workforce has increased housing demand. Other nearby projects such as the Borumba Pumped Hydro project, (within the neighbouring Gympie Regional Council area) downstream from the Borumba dam will require significant accommodation for the construction phase. This may be a legacy housing opportunity to benefit both regions. With the private rental market vacancy rate only 0.5% in 2022¹⁹, this results in challenges for businesses in attracting, retaining, and accommodating workers.

¹⁴ [Somerset Social Plan 2023 pg. 50](#)

¹⁵ Queensland Government [Social Housing Register](#) at 30 September 2023

¹⁶ Queensland Government [Tenancies in Government managed social rental housing](#) at 30 June 2023

¹⁷ Queensland Regional Profiles: [Resident, Somerset LGA](#)

¹⁸ [Somerset Social Plan 2023 pg. 54](#)

¹⁹ NHFIC – Rents Report 2022

5.0 RESPONSE OPPORTUNITIES

A Local Housing Action Plan enables engagement across all levels of government, and benefits from partnerships between private and not-for-profit organisations. An initial set of tactical actions has been developed, enabling refinement through an ongoing iterative process. These actions provide for a targeted response and outcomes that will seek to either create immediate benefit or establish a foundation for the next phase of actions. More specific responses will be determined in consultation with the local housing and social services sector. These responses can provide flexibility in delivery and support each of the broad areas identified.



5.1 Existing Initiatives

The Council has already worked on several key initiatives to address the housing crisis to date these include:

- Background studies to inform new planning scheme
- New Growth Management Strategy
- Draft Housing Needs Analysis – which will include cohort specific and culturally responsive housing in the region to better understand diverse housing types and support needs
- [Infrastructure Charges Incentivisation Policy](#) to incentivise tourist accommodation in the Somerset LGA.
- Somerset Social Plan.

5.2 Actions

The Council with the support of the Queensland Government through the Housing and Homelessness Action Plan 2021-2025 is committed to engage in the delivery of its initial Local Housing Action Plan through this set of actions, developed to target immediate to longer term housing responses. This is an iterative process, and these actions and target outcomes will seek to either create immediate benefit or to establish foundations that help respond to ongoing housing need.

○	Land and Development	Timeline
1.1	Continue to investigate council-owned sites for future housing supply.	Short
1.2	Advocate for funding to support incentive measures to attract community housing providers to the region.	Short
1.3	Advocate that the State Government support investment in trunk infrastructure and critical renewal and augmentation of assets, including water, sewerage, drainage, and road assets.	Ongoing
1.4	Seek funding via the Homes for Queenslanders \$12.5 million targeted, needs-based funding for local governments for strategic planning to complete a growth management study.	Short
1.5	Investigate options, with private and other government partners to retain housing as a legacy where developed for particular projects or industries.	Medium

○	Planning	Timeline
2.1	<p>Ensure Council's land use planning controls encourage an adequate supply and mix of housing options that are accessible and affordable and support ageing in place or downsizing to more appropriate housing.</p> <p>From Somerset Social Plan:</p> <p>AP 1. Promote active aging in the community and aging in place through programs and activities that support people to safely and confidently stay in their own homes and be part of the community.</p> <p>AP 1.1 As part of the Housing Study, investigate the need for independent living units and retirement homes.</p> <p>AP 1.2 Ensure Council's land use planning controls encourage an adequate supply and mix of housing options that are accessible and affordable and support ageing in place.</p>	Medium
2.2	Council to investigate partnering and facilitation options including the State/Federal governments for improved public and community transport as required to support residential housing developments to reduce car dependency and support social inclusion and affordable housing types.	Medium
2.3	Investigate innovative solutions that offer low capital, high-capacity short-term accommodation options in the region's towns most in need of short-term worker accommodation.	Medium
2.4	Prepare a new planning scheme and ensure alignment with ShapingSEQ 2023.	Short
2.5	Review of LGIP to support proposed planning scheme outcomes.	Short

○	Optimisation	Timeline
3.1	Advocate for planning reform to allow for expedited planning scheme review processes, where planning scheme amendments are proposed to support appropriate measures for worker accommodation or to encourage increased density or diverse housing typologies.	Short
3.2	As per the Somerset Social Plan: CS4 Create awareness of community development initiatives, activities, services (including connections to housing supports), programs. CS4.2 As part of the marketing strategy advertise Council facilities, services, and activities to improve utilisation and participation.	Ongoing
3.3	As per the Somerset Social Plan: TM 1. Enhance the public and community transport services from Kilcoy to Caboolture and Toogoolawah to Ipswich (through Esk, Lowood, Fernvale) for a more frequent and reliable connection to major centres. TM 1.1 Advocate for an additional daily service to and from Toogoolawah, passing through Lowood/Fernvale and an additional daily service to and from Kilcoy to Caboolture. TM 1.2 Encourage transport services such as driver support program. TM 1.3 Advocate to Queensland Transport to subsidise ride share service.	Ongoing

○	Master planning	Timeline
4.1	Master planning: Promote opportunities to incentivise housing for key worker, infill housing and/ or retirement/ aged care housing.	Medium

○	Supports	Timeline
5.1	Continue work on the housing needs assessment in order to identify the barriers and potential solutions to the housing challenges the Somerset LGA faces.	Short
5.2	Explore opportunities to partner with Community Housing Providers and the State to deliver social and affordable housing.	Medium
5.3	From the Somerset Social Plan: CS3 Encourage, promote, and provide opportunities and appreciation for volunteerism (where these assist in support for people in need to continue to live in their homes). CS3.1 Continue to support community organisations that provide services in the region through interagency meetings. CS3.2 Facilitate volunteering through website page where people can choose volunteer activities that suit them and help achieve personal goals and where groups can list their request.	Ongoing

	CS3.3 Implement a volunteer incentive program for example: Professional development courses; Mentoring to learn a skill; Discount at local business; Social/networking events and awards.	
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○	People in need	Timeline
6.1	Provide timely assistance to the aged care development sector to ensure timely delivery of additional age-appropriate accommodation such as individual living units and retirement homes.	Ongoing
6.3	Undertake a Housing Study to determine the housing needs of older persons and persons with a disability to allow them to age and stay in the Somerset region.	Medium
6.4	Explore opportunities to partner with Community Housing Providers and State Housing Providers to deliver social and affordable housing.	Ongoing
6.5	<p>From the Somerset Social Plan:</p> <p>HW 1. Promote community service navigation (both council and other) through existing and new council facilities.</p> <p>HW 1.1 Complete a network of hubs by building the Toogoolawah Gateway.</p> <p>HW 1.2 Consolidate existing and expanded services in Lowood into a new purpose-built community hub.</p> <p>HW 1.3 Prepare a masterplan for establishing a community hub and neighbourhood centre in Esk e.g., for Councils sites in Esk.</p> <p>HW 1.4 Activate the Kilcoy Wellness Hub with diverse activities that respond to community need e.g., playgroup, food bank, others.</p> <p>HW 1.5 Explore opportunities for using space in the Fernvale Visitor Information Centre as a community hub.</p> <p>HW 1.6 Promote the spaces within council facilities as Community Wellness Hubs for outreach services in the Somerset region.</p>	Ongoing
6.6	<p>From the Somerset Social Plan:</p> <p>HW 2. Implement strategies to attract and retain more health professionals to service the growing population.</p> <p>HW 2.1 Work with schools to facilitate workshops and forums on health-related career paths for young people to encourage them to study and stay local (including advocate for housing for health workers).</p> <p>HW 2.2 Schools to work with existing health providers (e.g. GPs, Hospital, Dentist) for student placement experience.</p> <p>HW 2.3 Schools to work with universities to promote undergraduate studies/pathways for health professionals and look at opportunities to provide scholarships for students in rural communities.</p> <p>HW 2.4 As part of CS1 – Promoting the Somerset – prepare a Somerset wide marketing campaign around the attractiveness of rural communities and lifestyles for health professionals.</p>	Ongoing

	HW 2.5 Explore opportunities to work with relevant Federal and State Government authorities to have rural health workforce initiatives and programs in our region.	
6.7	From the Somerset Social Plan: in response to supporting multicultural and key worker housing demands: DI 1. Encourage a welcoming and inclusive Somerset community by working with businesses and community. Provide a range of communication processes to better reach members of the community who speak languages other than English e.g., make key information available in other languages and formats on request.	Ongoing
6.8	From the Somerset Social Plan: FCY 5. Ensure young people and their families have access to information and supports available for mental and physical wellbeing. FCY 5.3 Identify and address issues in relation to youth homelessness including crisis and transitional accommodation as part of Housing Study.	Ongoing
○	Construction	Timeline
7.1	Council to work with industry to transition temporary workforce housing solutions into longer term, legacy accommodation for the region.	Medium
7.2	Advocate for the construction of smaller apartments or shared accommodation to support people over 55+ to downsize but retain independence.	Medium
7.3	Work with industries to develop housing strategies and solutions in well serviced areas as part of their infrastructure investment in the region.	Ongoing
7.4	Investigate crisis and emergency response accommodation options and develop flexible and innovative accommodation options to be able to adapt to the changing supply needs. This may include identifying land that may be suitable if constraints can be reduced. (Refer also CR1 from the Somerset Social Plan)	Ongoing
○	Capital solutions	Timeline
8.1	Council to identify opportunities to engage with existing and perspective private businesses to invest in housing solutions in the region.	Short
6.4	Independent Living (55+) Develop partnerships with community housing providers and the State Government to invest in accommodation for 55+ Men and Woman seeking to downsize from existing accommodation but remain in independent living.	Medium

5.3 Next Steps

A strategic action of the *Somerset Social Plan* is to establish an Action Group. Where there is alignment of those actions with housing outcomes, there is the potential to establish a Local Housing Action Plan Working Group of key representatives from Council, relevant State Government agencies, key stakeholders and community organisations, to oversee and progress actions, review findings, report on progress and further develop the LHAP in an open partnership.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Jessie Gault, Cadet Finance Officer
Director: Geoffrey Smith, Director Finance
Date: 2 September 2024
Subject: Finance report
File Ref: Monthly reporting/ finance
Action Officer: DFIN

Background/Summary

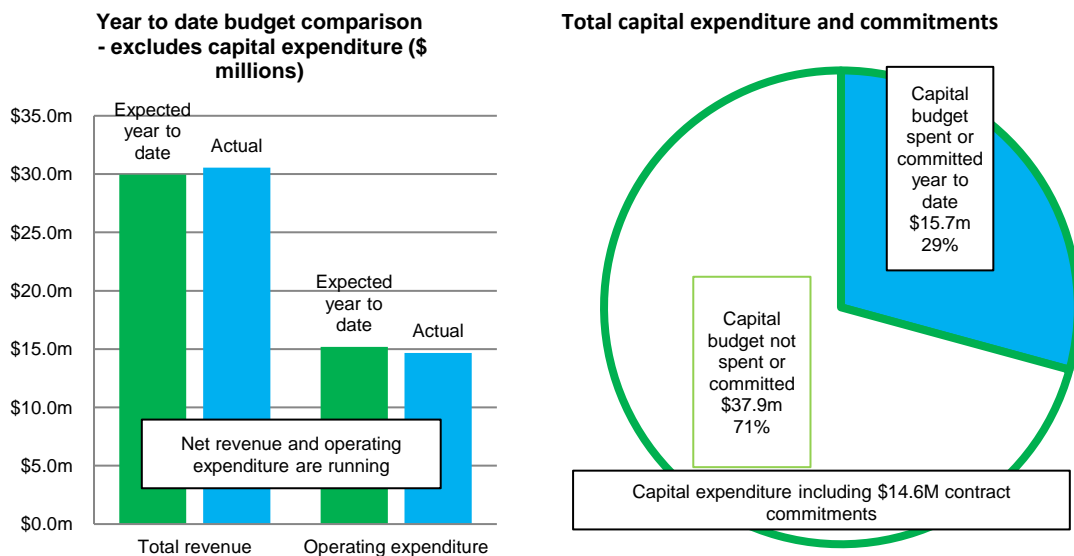
Financial reports

Reports for the period 1 July 2024 to 30 August 2024 are attached detailing the progress that has been made in relation to Council's FY2024 budget consistent with Local Government Regulation 2012 s204 and the attached basis of accounting statement.

On 29 August 2024, Council received \$12,017,140.41 excluding GST from Queensland Reconstruction Authority (QRA) in response to a request from Council detailing that significant Council disaster recovery expenditure had not been reimbursed by QRA. To put this receipt into context, a cash payments list is attached showing 70 payments totalling \$11,711,734 over the past one (1) month. Council officers are working to fully recover eligible flood restoration costs from QRA on a timely basis.

Council officers have completed draft FY2024 financial statements which are being audited.

Provisional results with 16% of the financial year completed are summarised as follows:



Successful grant

- On 28 August 2024, the National Emergency Management Agency (NEMA) announced that Council's funding application under the Australian Government's competitive Disaster Ready Fund (DRF) was successful.

A copy of the grant application is attached detailing the grant's purpose and limitations:

	Project value	DRF funding sought
Heatwave mitigation/ mature tree planting in low SEIFA greater western Brisbane	\$4,170,000	\$2,085,000

Other grant applications

- Council is awaiting the outcome of funding applications lodged under the Australian Government's Thriving Suburbs Program Round 1 (TSP) in August 2024:

	Project value	TSP funding sought
Toogoolawah Gateway Centre	\$5,253,100	\$3,677,170
Mount Glen Rock Hiking Trails	\$1,977,319	\$1,384,123

- Council is awaiting the outcome of the following funding applications lodged under the Queensland Government's SEQ Community Stimulus Program competitive component (SEQCSP) in July 2024:

	Project value	SEQCSP funding sought
Kilcoy Multipurpose Recreation Facility Upgrade (stage 1)	\$5,715,520	\$2,857,760
Toogoolawah Swimming Pool Upgrade Project	\$5,280,000	\$2,640,000

- Council is awaiting the outcome of the following funding applications lodged under the Queensland Government's Local Government Grants and Subsidies Program (LGGSP) in July 2024:

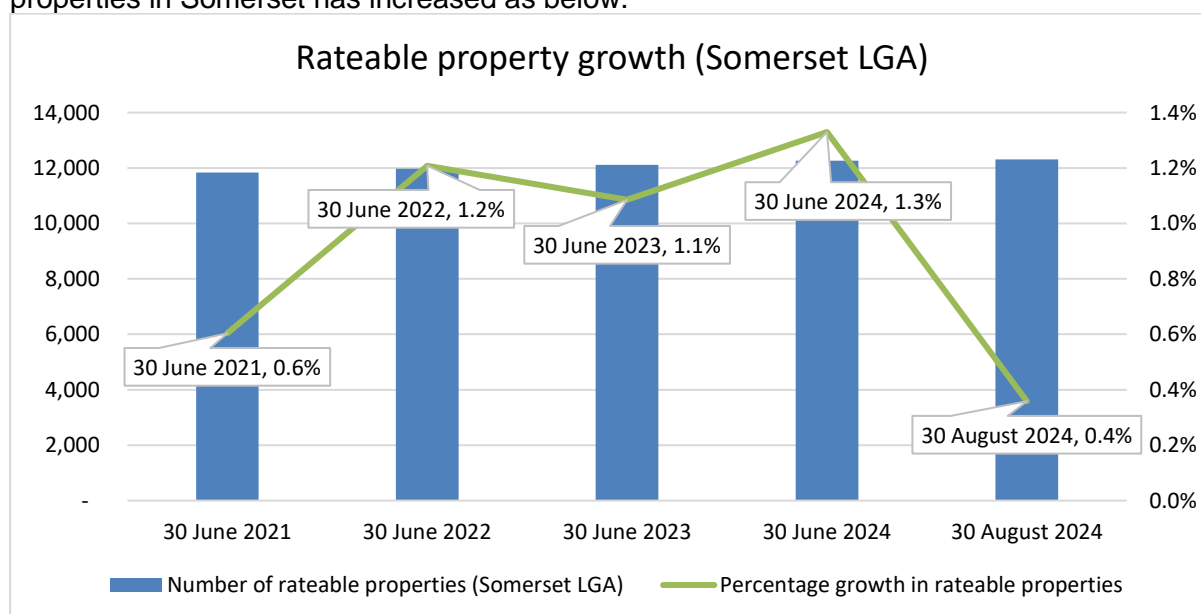
	Project value	LGGSP funding sought
Kilcoy Multipurpose Recreation Facility Upgrade (stage 1)	\$5,715,520	\$2,857,760
Toogoolawah Swimming Pool Upgrade Project	\$5,280,000	\$2,640,000

- Council is awaiting the outcome of a funding application lodged under the Australian Government's Community Energy Upgrades Fund Round 1 (CEUF) in April 2024:

	Project value	CEUF funding sought
LED streetlighting conversion model	\$1,555,792	\$777,896

Growth

Rateable property data provides an indication of regional growth. The total number of rateable properties in Somerset has increased as below.



Land valuations deferred for two years

On 23 August 2024, the Valuer-General advised that no State land revaluation would be carried out for Somerset Region effective 30 June 2025. This means that valuation changes during 2024/2025 and 2025/2026 would be included in a 30 June 2026 revaluation.

The 30 June 2024 State land revaluation - which showed an average increase of 54% and was one of the highest increases in Queensland - was the result of State land valuations not being performed for two years.

Investments

Council relies on interest revenue to keep rates at the lowest possible level. The Reserve Bank of Australia rapidly increased its target interest rate from 0.10% on 3 May 2022 to 4.35% on 6 December 2023. The cash rate remained at 4.35% as at 2 September 2024.

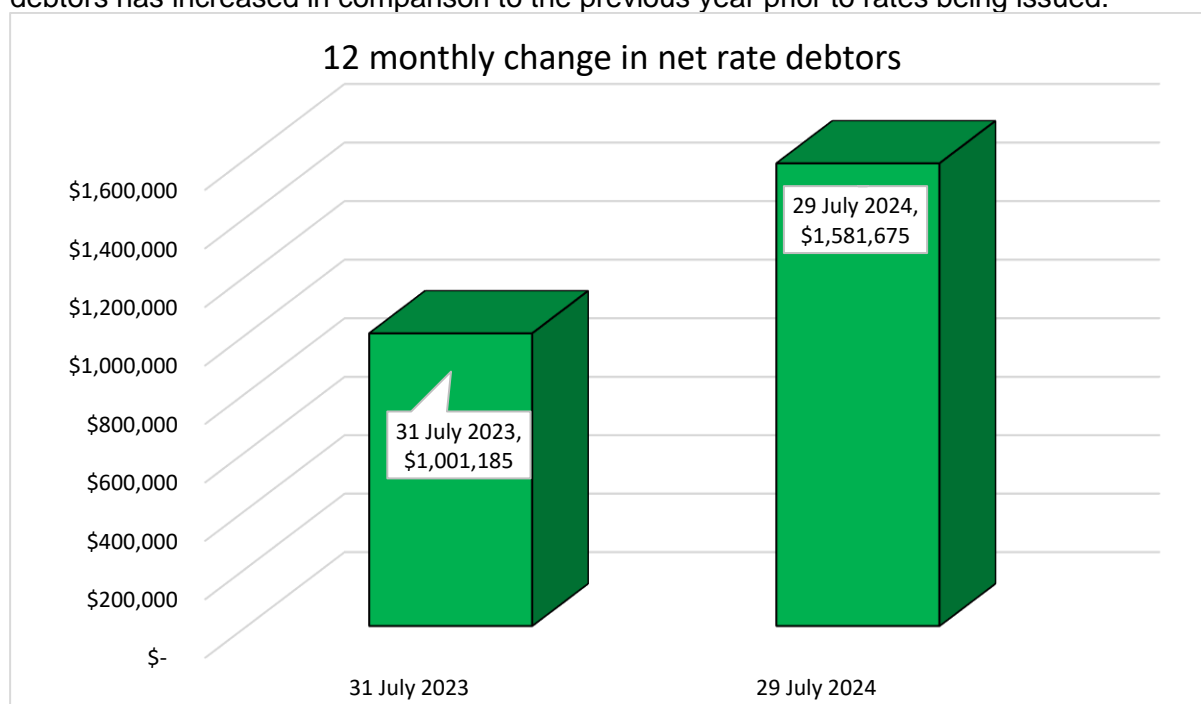
An investment summary is attached detailing interest earnings from Queensland Treasury Corporation (QTC) cash fund and other sources. Council's key long-term investment strategy has been to maintain interest-bearing credit facilities totalling \$53.8 million to Urban Utilities (UU) which helps fund vital infrastructure like Lowood wastewater treatment plant as well as providing mutual benefit to both UU and Council.

These currently carry a combined weighted average interest rate of 3.65%. Interest rates on the UU facilities are reviewed annually by QTC based on a rate resetting formula.

Interest revenue for FY2025 is budgeted at \$342 on average for every rateable property in Somerset, assisting Council to provide the lowest possible rates and charges to residents. Interest receipts were less than expected to 30 August 2024 due to reduced cash levels.

Rates

Council issues rate notices each six months. The following chart shows that the total rate debtors has increased in comparison to the previous year prior to rates being issued:

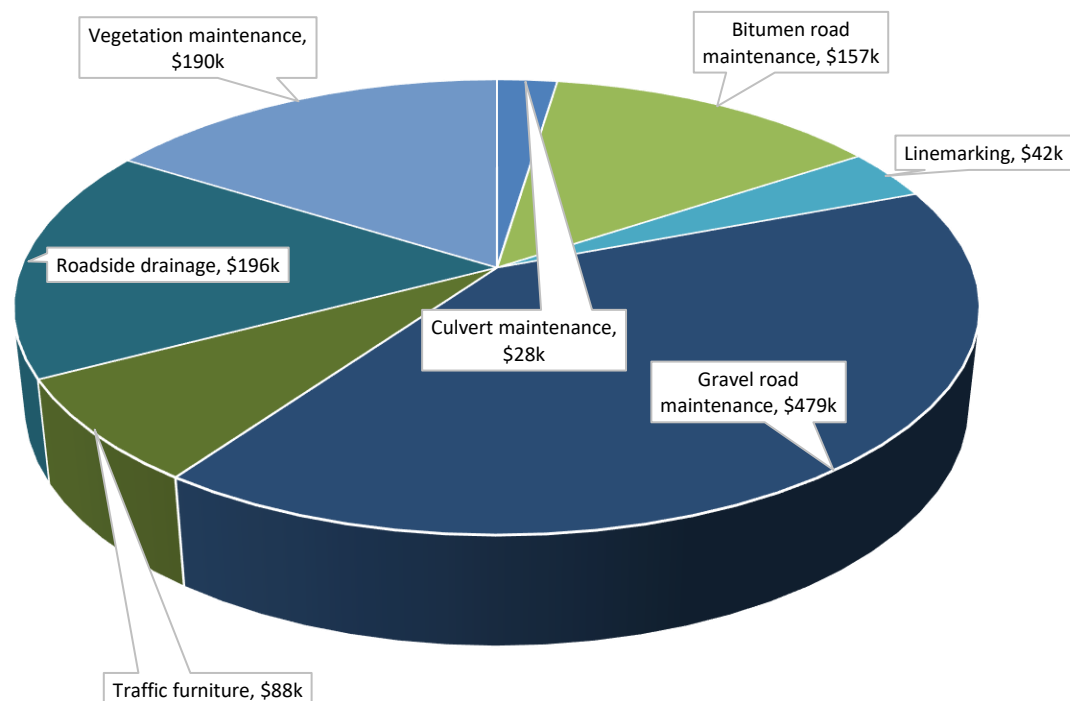


Council issued 27 notices of intention to sell land for overdue rates or charges on 10 and 16 May 2024. Council will refer remaining sale actions to its solicitors for finalisation after 16 September 2024. Council has deliberately avoiding incurring legal costs that might be recoverable from property owners to date.

Ordinary road and street maintenance dissection

Total road and street maintenance costs approximated budget to 30 August 2024 with costs dissected as follows:

Ordinary road / street maintenance element cost (\$'000's)



Road maintenance and road flood repairs

Council's 30 most costly road segments including both ordinary maintenance and flood repairs for the year to date were as below. Costs per linear metre where relevant has been added for context:

Road segment	Cost (\$'000's)	Cost per linear metre (\$)
Scrub Creek (flood repairs) DM01671Ch1670-Ch1850	1,317	
Gregors Ck Rd (flood repairs) DM01502Ch2120-Ch2170	454	
Braeburn Rd (flood repairs) DM01374Ch170-Ch190	371	
Esk Crows Rd (flood repairs) DM01609Ch33270-Ch34090	339	413
Vernor Rd (flood repairs) DM08748Ch52-Ch600	177	323
Mount Kilcoy Rd (flood repairs) DM02518Ch17465-Ch17490	157	
Kammholz Rd (flood repairs) DM00618Ch150-Ch150	146	
Wunulla La (flood repairs) DM02494Ch1620-Ch1620	136	
Mt Byron Rd (gravel) Mtc14466m	129	
Mahons Rd (flood repairs) DM07877Ch5910-Ch5950	115	2,866
Voights Rd (flood repairs) DM01037Ch2024-Ch2040	114	
Lowood Minden (flood repairs) DM06335Ch9520-Ch9630	110	996
Sandy Creek Rd (flood repairs) DM05857Ch8860-Ch8940	107	1,341
Mahons Rd (flood repairs) DM07878Ch6030-Ch6100	106	1,512
Glamorgan V Rd (flood repairs) DM00956Ch3620-Ch3620	92	
Voights Rd (flood repairs) DM01038Ch1492-Ch1500	89	
Rohlmanns Rd (flood repairs) DM04101Ch2650-Ch2650	88	
Mt Beppo Rd (flood repairs) DM05455Ch11718-Ch11719	86	
McCauleys La (flood repairs) DM05829Ch600-Ch685	85	997
McClean Rd (flood repairs) DM03031Ch485-Ch495	83	
Mt Beppo Rd (flood repairs) DM05416Ch10506-Ch10507	79	
Mt Beppo Rd (flood repairs) DM05458Ch10826-Ch10827	71	

Glamorgan V Rd (flood repairs) DM06782Ch1900-Ch1960	69	1,145
Borgan Rd (flood repairs) DM08667Ch60-Ch180	65	539
Maronghi Ck (flood repairs) DM07788Ch2680-Ch2750	64	914
Mt Kilcoy Rd (flood repairs) DM03712Ch4430-Ch4431	63	
Mount Kilcoy Rd (flood repairs) DM05935Ch268-Ch350	62	750
Monsildale Rd (flood repairs) DM02682Ch11500-Ch11560	61	1,024
Mount Kilcoy Rd (flood repairs) DM05922Ch3165-Ch3225	59	986
Sandy Creek Rd (flood repairs) DM05862Ch9320-Ch9370	55	1,091
Subtotal (\$000's)	4,949	

Special road maintenance/ renewal

In addition to ordinary bitumen road maintenance and flood repairs, expenditure on resealing of bitumen roads is budgeted for FY2025 at \$1.9M. Resealing is a necessary part of the ongoing cost of managing the sealed road network.

Attachments

- Financial reports
- payment listings

Recommendation

THAT Council receive the financial reports for 1 July 2024 to 30 August 2024 including the attached basis of accounting statement and the report on payments processed between 25 July 2024 and 30 August 2024 totalling \$16,172,688.66 and that the contents be noted.

Somerset Regional Council

Monthly financial report - Basis of accounting

The accompanying financial report is prepared pursuant to section 204 of the *Local Government Regulation 2012*.

Section 204 does not require the adoption of Australian Accounting Standards.

Council aims to meet legal requirements in the preparation of monthly financial reports to enable an assessment of the progress that has been made in relation to the local government's budget for the period of the financial year up to a day as near as practicable to the end of the month.

In doing so, because Council carries out annual assessments of certain accounts, the monthly balances of these accounts are based on known information only that is cost-effective to collect, assess and/or calculate at the time of preparation of the monthly financial report.

These annual assessments are reflected in Council's trial balance and other financial records only at the time of their calculation.

Council does not consider that the benefits of calculating the balances of these accounts on a monthly basis would exceed the costs of obtaining relevant data and making these calculations.

Council further does not consider that estimating the balances of these accounts on a monthly basis would necessarily provide useful information to readers.

Audited annual financial statements are available on Council's website at <https://www.somerset.qld.gov.au/your-council/annual-reports>.

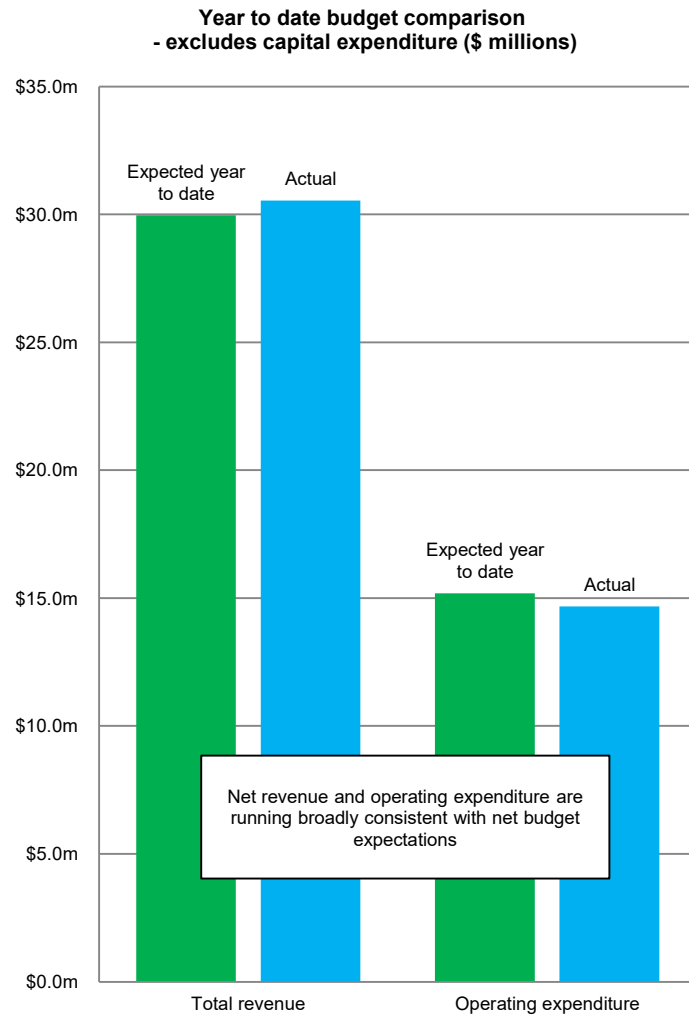
The accounts where these annual assessments are made, include, but are not limited to:

- Accruals
- Contract balances
- Depreciation and amortisation
- Equity accounted investments
- Leases
- Long service leave provision
- Prepayments
- Property, plant and equipment capitalisation and valuations
- Provisions for land restoration

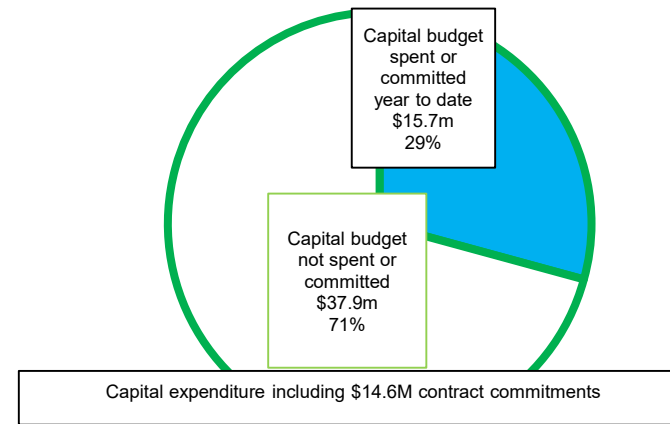
Operating and capital financial summary - please read in conjunction with Basis of Accounting

Period 1 July 2024 to 30 August 2024

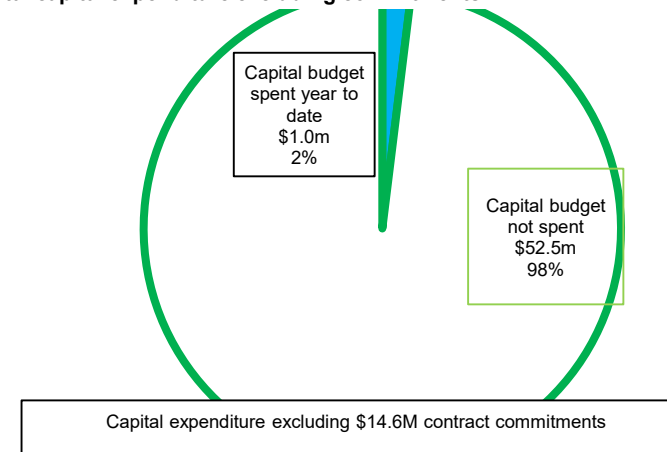
Percentage of year completed = 16%



Total capital expenditure and commitments



Total capital expenditure excluding commitments



Somerset Regional Council
Operating results
Period 1 July 2024 to 30 August 2024

Unaudited - for internal purposes only - please read in conjunction with Basis of Accounting

	Budget (\$000's)	Expected year to date (\$000's)	Actual (\$000's)	Variance (\$000's) - favourable/ (unfavourable)	Comment
OPERATING PROGRAMS	31,550	14,772	15,873	1,101	
Total revenue	86,084	29,962	30,549	587	1%
Capital grants and subsidies	32,164	4,288	4,348	60	\$8.8M cash is held in unacquitted grants for projects not yet finalised
Operating revenues	53,921	25,674	26,201	527	1%
Operating grants and subsidies	5,590	4,467	4,278	(189)	
Other revenue	2,432	1,119	1,138	19	
Nett rates and charges	34,059	18,814	19,418	604	Unexpected land use assessments by Department of Resources have affected rating categories
Interest earned	4,191	725	595	(130)	
Contributions from developers and others	-	-	-	-	
Profit/ (loss) on disposal of non-current assets	-	-	-	-	
Dividend/ tax equivalent - UU	2,179	104	150	46	
Fees and charges	1,984	383	559	176	
Contract works revenue	3,486	61	63	2	
Operating expenditure	54,535	15,189	14,676	513	1%
Labour, plant and materials - operating purposes	42,410	13,090	12,654	436	
Depreciation (interim)	12,125	2,099	2,022	77	

SOMERSET REGIONAL COUNCIL
Variance Reports
Actual versus budget workings income and expenditure by activity
Unaudited - for internal purposes only - please read in conjunction with Basis of Accounting
Period 1 July 2024 to 30 August 2024

Pay Period from - 01-Jul-24

Pay Period to - 30-Aug-24

Period elapsed - 16%

Ref	Description	Budget (\$000's)	Expected year to date (\$000's)	Actual (\$000's)	Variance (\$000's)	Comment
		Revenue or (cost)	Revenue or (cost)	Revenue or (cost)	Favourable (Unfavourable)	
Detailed cost centres						
4000-0001	CORPORATE AND COMMUNITY	(7,304)	(1,819)	(1,780)	39	Within expected limits
4000-0002	CORPORATE SUPPORT	(2,934)	(943)	(998)	(55)	Within expected limits
4056-1000	Sundry Income	2		5	5	
4058-1000	Qld Govt Agency Program revenue	113				
4110-2000	Corporate labour costs	(1,492)	(258)	(203)	55	
4120-2000	Corporate costs other than labour	(482)	(83)	(64)	19	
4121-2000	Insurance - property/ public liability	(395)	(395)	(372)	23	
4124-2000	Subscriptions	(77)	(77)	(74)	3	
4130-2000	Corporate buildings repairs and maintenance	(36)	(6)	(4)	2	
4760-2000	Operating costs - information technology	(615)	(106)	(286)	(180)	
4710-2000	Hardware - information technology	(102)	(18)		18	
4999-2000	Internal cost allocations	149				
4508-0002	SOMERSET CIVIC CENTRE	(590)	(102)	(101)	1	Within expected limits
4508-1000	Esk Somerset Civic Centre revenue	40	7	12	5	
4508-2000	Esk Somerset Civic Centre operations	(630)	(109)	(113)	(4)	
4300-0002	LIBRARIES	(1,140)	(198)	(207)	(9)	Within expected limits
4320-1000	Grant for library book purchases	126	22		(22)	
4320-2000	Purchase of new library books	(126)	(22)	(18)	4	
4355-2000	Other operating expenses - libraries	(173)	(30)	(18)	12	
4325-1000	Library operational grants	12	2		(2)	
4325-2000	Library operational grant expenditure	(9)	(2)	(2)		
4330-1000	Sundry Income - libraries			1	1	
4365-2000	Repairs and maintenance expenses - libraries	(64)	(11)	(8)	3	
4350-2000	Labour costs - libraries	(906)	(157)	(162)	(5)	
COUNCIL PROPERTIES - Income						
4565-1000	Coominya refuse and recycling facility	4	1		(1)	Within expected limits
4515-1000	Esk (Farm Supplies Shed) Neilsen Place	43	7	8	1	
4541-1000	Esk Motorola Tower Lakeview Park					
4522-1000	Esk Racecourse Showgrounds	2		1	1	
4561-1000	Fernvale billboard/ Fernvale sports park users	11	2		(2)	
4547-1000	Fernvale Campdraft Grounds	5	1		(1)	
4558-1000	Fernvale communications tower sites	73	13	12	(1)	
4543-1000	Fernvale Community Hall	7	1		(1)	
4534-1000	Fernvale Futures Complex	2		16	16	
4566-1000	Fernvale UU lease - L99 CC3429 - Ferny Gully	1				
4514-1000	Grazing Rights - various rural properties	28	5	10	5	
4578-1000	Kilcoy communications tower site	9	1		(1)	
4594-1000	Kilcoy Information Centre/ Healthy Land and Water lease	12	2	2		
4582-1000	Kilcoy Memorial Hall	11	2	2		
4586-1000	Kilcoy Motocross Club	2				
4575-1000	Kilcoy Showgrounds	84	15	20	5	
4579-1000	Kilcoy Yowie Park concessions (eg food vans)	2				
4532-1000	Lowood Enterprise Centre	28	5	5		
4533-1000	Railway Corridor Land - various locations	8	1		(1)	
4505-1000	Railway Street Lowood - various business premises	20	3		(3)	
4530-1000	Somerset Dam Coronation Hall - hire charges	15	3	5	2	
4512-1000	Tennis Clubs	3	1		(1)	
4539-1000	Toogoolawah Gym McConnell Park			1	1	
4567-1000	Wivenhoe Pocket NBN lease	12	2		(2)	
4500-0002	COUNCIL PROPERTIES - Expenditure	(602)	(103)	(115)	(12)	Within expected limits
4520-2000	Buildings on railway land	(1)				
4530-2000	Coronation Hall Somerset Dam	(47)	(8)	(10)	(2)	
4504-2000	Esk racecourse showground	(50)	(9)	(6)	3	
4524-2000	Esk Heap Street former fire station	(3)				
4548-2000	Fernvale campdraft grounds	(26)	(4)	(26)	(22)	
4543-2000	Fernvale community hall	(28)	(5)	(3)	2	
4559-2000	Fernvale PCYC	(161)	(28)	(13)	15	
4585-2000	Kay Avery Place Kilcoy	(10)	(2)	(1)	1	
4583-2000	Kilcoy Memorial Hall	(27)	(5)	(6)	(1)	
4576-2000	Kilcoy racecourse showgrounds	(111)	(19)	(25)	(6)	
4578-2000	Kilcoy sports centre operations - indoor	(94)	(16)	(14)	2	
4580-2000	Kilcoy sports centre operations - Hopetoun fields	(14)	(2)	(5)	(3)	
4595-2000	Lowood Community Centre Peace St	(1)				
4523-2000	Lowood Recreation Complex	(7)	(1)	(2)	(1)	
7347-2000	Lowood Telstra Site	(1)				
4511-2000	Lowood Walters Street building (former SES)	(1)		(1)	(1)	
4509-2000	Old Lowood library building (hub)	(1)				

SOMERSET REGIONAL COUNCIL

Variance Reports

Actual versus budget workings income and expenditure by activity

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Period 1 July 2024 to 30 August 2024

Pay Period from - 01-Jul-24

Pay Period to - 30-Aug-24

Period elapsed - 16%

Ref	Description	Budget (\$000's)	Expected year to date (\$000's)	Actual (\$000's)	Variance (\$000's)	Comment
		Revenue or (cost)	Revenue or (cost)	Revenue or (cost)	Favourable (Unfavourable)	
4560-2000	Repairs & maintenance - rental properties	(3)	(1)		1	
4587-2000	Sheepstation Hall site	(1)				
4528-2000	Storage building - 82 Ipswich St Esk costs	(0)				
4538-2000	Tennis assets	(6)	(1)	(1)		
4536-2000	Toogoolawah gym	(4)	(1)	(2)	(1)	
4539-2000	Toogoolawah Guides Hut McConnell Park					
4506-2000	Toogoolawah old water treatment plant	(6)	(1)		1	
4600-0002	COMMUNITY/ CULTURE/ RECREATION	(1,505)	(385)	(277)	108	Within expected limits
4605-1000	Grants - social services program - ongoing	274	47	22	(25)	
4662-1000	Grants - social services program - once off			5	5	
4680-2000	Youth development program - expenditure	(149)	(26)	(11)	15	
4660-2000	Operating expenses - social services program	(175)	(30)	(46)	(16)	
4662-2000	Grant Expenses Dept of Communities			(3)	(3)	
4615-1000	Community recovery officer - grant	300				
4615-2000	Community recovery officer - expenditure	(149)	(26)	(2)	24	
4596-1000	Community Wellness Hubs					
4610-1000	Grants - Regional Arts Devel Fund - grants received			60	60	
4610-2000	Grants - Regional Arts Devel Fund - payments	(40)	(7)	(2)	5	
4620-1000	Condensery grants - various revenue					
4657-2000	Condensery grants - various expenditure			(3)	(3)	
4557-2000	Toogoolawah Condensery/ gallery	(374)	(65)	(56)	9	
4650-2000	Grants to community groups (CAG)	(183)	(32)	(27)	5	
4645-2000	Donations from Mayoral Charity Ball Fund					
4651-2000	Recreation reserves operating expenses	(3)				
4673-1000	Sporting Recurrent Grants - Other			9	9	
7340-2000	Swimming pool operations	(454)	(79)	(81)	(2)	
4665-2000	Sport and recreation program	(441)	(76)	(52)	24	
4667-1000	Somerset Rail Trail Classic - revenue	14				
4674-2000	Somerset Rail Trail Classic - expenditure	(83)	(83)	(88)	(6)	
4672-2000	Sport+Recn Participant Program costs	(45)	(8)	(2)	6	
	MARKETING AND PROMOTION	(914)	(154)	(164)	(10)	Within expected limits
4555-2000	Esk Visitor Information Centre	(94)	(16)	(20)	(4)	
4556-2000	Fernvale Visitor Information Centre	(233)	(40)	(34)	6	
4554-2000	Kilcoy Visitor Information Centre	(243)	(42)	(27)	15	
4570-1000	Promotions revenue			1	1	
4570-2000	Promotions - other expenses	(308)	(53)	(84)	(31)	
4655-1000	Australia Day Community Grant					
4653-2000	Australia Day costs	(20)				
4652-2000	Community events and celebrations	(16)	(3)		3	
5000-0002	PROGRAM - HUMAN RESOURCES/ CUSTOMER SERVICE	(3,194)	(553)	(321)	232	Within expected limits
5003-1000	Grants Traineeships	120	20	1	(19)	
5110-2000	Labour costs/ customer service	(977)	(169)	(138)	31	
5150-2000	Labour costs/ human resources	(1,115)	(193)	(136)	57	
5160-2000	Other expenses - human resources	(343)	(59)	(23)	36	
4140-2000	Fringe Benefits Tax	(116)	(20)		20	
5161-2000	Personal protective items	(169)	(29)	(11)	18	
5170-2000	Staff training	(595)	(103)	(14)	89	
6000-0001	PROGRAM - FINANCE	38,989	21,676	22,097	421	Within expected limits
6105-1000	General rates	31,771	15,886	16,438	552	Unexpected changes to land use assessment codes by Dept of Resources (3% variance)
6115-1000	Internal rates	(125)	(63)	(63)	(0)	
6125-1000	Interest on rates and charges	210	36	50	14	
6135-1000	Discount on general rates	(4,124)	(277)	(277)		
6107-1000	Change of ownership fees	89	45	55	10	
6108-1000	Ex - gratia Treasury payments (SEQWater rates)	1,757	1,033	1,033	(0)	
4051-1000	State Govt Emergency Management Levy retention	47				
6116-2000	State Govt Emergency Management Levy expense	(32)	(16)	(15)	1	
6145-1000	State pensioner rate subsidy			3	3	
6147-1000	Council pensioner rate subsidy	(2)	(1)	(1)	(0)	
4060-1000	Property search fee revenue	391	68	78	10	
6205-1000	Financial assistance grants	4,914	4,374	4,164	(210)	Total allocated grant will be less than expected due to population growth being lower than State average (2.1% vs 3.2%) and other factors

SOMERSET REGIONAL COUNCIL

Variance Reports

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		Revenue or (cost)	Revenue or (cost)	Revenue or (cost)	Favourable (Unfavourable)	
6279-1000	Interest income	3,981	689	545	(144)	Lower than expected cash balances
6280-1000	Share of profit - Urban Utilities	1,579				
6281-1000	Urban Utilities tax equivalent receipts	600	104	150	46	
6450-2000	Labour costs/ finance	(1,796)	(311)	(290)	21	
6520-2000	State valuations + other operating	(285)	(49)	(28)	21	
4455-2000	Stores operations	(25)	(4)	(3)	1	
6530-2000	Audit	(155)				
6601-2000	Merchant fees/ bank charges	(80)	(14)	(2)	12	
6625-2000	Bad & doubtful debts	(6)				
6805-2000	Annual leave	(1,656)	(287)	(276)	11	
6815-2000	Long service leave	(396)	(69)	(66)	3	
6820-2000	Public holidays	(801)	(80)	(74)	6	
6825-2000	Superannuation	(2,379)	(412)	(426)	(14)	
6810-2000	Sick leave	(704)	(122)	(121)	1	
6813-2000	Severance/ other			(1)	(1)	
6830-2000	Work Cover insurance and costs	(410)		(1)	(1)	In process of changing insurers
6835-2000	Pay Adjustments - Backpay					
6840-2000	Wet weather	(116)	(20)	(34)	(14)	
6845-2000	Floating plant & loose tools	(61)	(11)	(14)	(3)	
6998-2000	Employee oncost recoveries	6,803	1,177	1,273	96	
7000-0001	PROGRAM - OPERATIONS	9,452	(3,870)	(3,858)	12	Within expected limits
7000-0002	DISASTER MANAGEMENT	857	285	361	76	Within expected limits
7005-1000	SES operating grants	22				
7010-1000	SES capital grants	1,000		23	23	
7033-1000	Get Ready Queensland funding	15	3	4	1	
7027-1000	Flood study grants					
7028-2000	Flood study expenditure/upgrade flood warning software					
7031-1000	DFRA BushfireRecoveryProgram 2020					
7033-2000	Get Ready Queensland expenditure	(15)	(3)	(3)		
6136-1000	Council SES levy revenue	442	221	222	1	
4036-1000	Rural fire levy revenue	310	155	177	22	
4036-2000	Contributions to rural fire brigades	(310)				
7044-2000	Bushfire expenditure	(10)	(2)		2	
7034-2000	Other disaster management expenses	(454)	(78)	(57)	21	
7036-2000	SES plant and equipment internal hire	(80)				
7040-2000	Other operating expenses - SES	(63)	(11)	(5)	6	
7100-0001	ENGINEERING OFFICE	10,653	(2,138)	(2,011)	127	Within expected limits
7106-1000	Grant - Roads to Recovery	988				
7110-1000	Grant - Preparing Australian Communities Program	3,546				Funded job not completed
7111-1000	Grant - Regional Roads/ TIDS	650				Funded job not completed
7104-1000	SEQ City Deal Liveability Fund	1,660				Funded job not completed
7108-1000	BVRT Queensland Government DTMR Grant					
7116-1000	Competitive Bridges Renewal Program funding	5,000				Funded job not completed
7115-1000	Competitive Heavy Vehicle Safety & Productivity Program	6,147				Funded job not completed
7121-1000	Local Roads & Community Infrastructure grants #3					
7030-1000	Competitive Risk Resilience Grants - culverts		14	14		
7113-1000	Local Roads & Community Infrastructure grants #4	1,558				Funded job not completed
7118-1000	Principal Cycle Network funding					
7024-1000	Local Economic Recovery program grants					
7123-1000	SEQ community Stimulus Program non competitive	1,400				Funded job not completed
7132-1000	Competitive SEQCSP EskCrowsNest-Tmba Boundary	688				Funded job not completed
7133-1000	Competitive SEQCSP Lwd-MindnRd MindenVillage					
7134-1000	Competitive SEQCSP LwdPool - safe & fun for everyone					
7109-1000	MIIF grant Fvale Sports Park Irrigation	250				Funded job not completed
7139-1000	Disaster Ready Fund	994				
7107-1000	Black Summer Bushfire Recovery Competitive Grants					
4614-1000	LGGSP - Rooftop solar installations stage 2			37	37	Funded job not completed
7565-1000	RecoveryResilienceGrant SRC0084.2122					
7127-1000	Cash Contributions Developers					
7150-2000	Labour costs - engineering office	(2,066)	(358)	(344)	14	
7160-2000	Other operating expenses - engineering	(122)	(21)	(18)	3	
7415-2000	Operating expenses - depots	(177)	(31)	(22)	9	
7299-2000	Maintenance internal transfers	202				
7170-2000	Depreciation - roads	(6,845)	(1,185)	(1,141)	44	
7171-2000	Depreciation - underground drains	(426)	(74)	(71)	3	
7172-2000	Depreciation - bridges	(1,057)	(183)	(176)	7	
7173-2000	Depreciation - paths	(523)	(90)	(87)	3	
7180-2000	Depreciation - other buildings	(1,215)	(210)	(203)	7	

SOMERSET REGIONAL COUNCIL

Variance Reports

Actual versus budget workings income and expenditure by activity

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		Revenue or (cost)	Revenue or (cost)	Revenue or (cost)	Favourable (Unfavourable)	
7200-0002	MAINTENANCE	(2,275)	(3,045)	(2,779)	266	Within expected limits
7200-0003	Road street and bridge maintenance	692	(2,604)	(2,509)	95	Within expected limits
7220-2000	Street maintenance	(1,100)	(190)	(197)	(7)	
7270-2000	Rural road maintenance	(6,288)	(1,088)	(984)	104	
7563-1000	Flood restoration - grants	8,283	4,274	4,274		Council expects to be fully reimbursed for flood restoration expenditure As above
7569-2000	Flood restoration - expenditure		(5,564)	(5,564)		
7230-2000	Footpaths and bikeways maintenance	(119)	(21)	(25)	(4)	
7360-2000	Gravel operations (own roads) - nett (cost) or recovery			(1)	(1)	
7310-2000	Bridge maintenance	(84)	(15)	(12)	3	
7320-0003	Town and village facilities	(3,438)	(547)	(404)	143	Within expected limits
7330-2000	Town stewardship/ parks and gardens	(2,077)	(360)	(299)	61	
7333-2000	Maintenance - public conveniences	(462)	(80)	(85)	(5)	
7210-2000	Street lighting	(299)	(52)	(52)		
7346-1000	Maintenance rail corridor land - income	60	60	62	2	
7825-1000	Cemetery revenue	194	33	33		
7870-2000	Cemetery expenditure	(332)	(58)	(41)	17	
7321-2000	Water supplied to council	(264)	(46)	(5)	41	
7322-2000	Sewerage services to council	(157)	(27)	(6)	21	
7336-2000	Vandalism	(50)	(9)	(6)	3	
7337-2000	CCTV operations	(24)	(4)	(3)	1	
7345-2000	Maintenance of skate parks	(25)	(4)	(2)	2	
7400-0003	Workshop and depots	471	106	134	28	Within expected limits
7425-1000	Fuel rebates	105				
7416-2000	Two Way Radio Site Rental Costs	(4)	(1)	(3)	(2)	
7430-2000	Depreciation - plant	(1,483)	(257)	(247)	10	
7429-2000	Depreciation - Lease Right Of Use Assets	(335)	(58)	(56)	2	
7437-2000	Lease Interest	(163)				
7435-2000	Vehicle leasing and plant hire			(85)	(85)	
7431-2000	Tyres and batteries	(120)	(21)	(19)	2	
7432-2000	Registration	(88)		(1)	(1)	
7433-2000	Workshop wages	(653)	(113)	(123)	(10)	
7434-2000	Fuel and oil	(1,110)	(192)	(127)	65	
7436-2000	Parts and outside labour	(453)	(78)	(86)	(8)	
7449-2000	Internal plant recoveries	4,775	826	881	55	
7500-0002	RECOVERABLE WORKS	534	(500)	(262)	238	
7510-1000	Main Roads maintenance - revenue	3,419				
7560-2000	Main Roads maintenance - expenditure	(2,882)	(499)	(256)	243	
7556-1000	Main Roads capital works - revenue					
7556-2000	Main Roads capital works - expenditure					
7530-1000	Recoverable works revenue - other	7	1	1		
7580-2000	Recoverable works costs - other	(10)	(2)	(7)	(5)	
7900-0002	WASTE MANAGEMENT	(318)	1,529	833	(696)	Within expected limits
7905-1000	Garbage charges	4,663	2,332	2,355	23	
7925-1000	Waste fees - domestic waste	30	5	18	13	
7926-1000	Waste fees - commercial waste	1				
7927-1000	Waste income - recycling	80	14	4	(10)	
7942-2000	State Waste Levy	(288)	(50)	141	191	
7940-2000	Operating expenses - waste management	(1,213)	(210)	(1,159)	(949)	Kilcoy landfill restoration allocated grant funded costs
7939-2000	Waste collection contract portion	(3,005)	(520)	(485)	35	
7943-2000	Depreciation - refuse management	(244)	(42)	(41)	1	
7950-2000	Waste Mgt Internal Transfers	(343)				
8000-0001	PROGRAM - PLANNING/ DEVELOPMENT	(4,243)	(253)	50	303	Within expected limits
7960-0002	REGULATORY - ENVIRONMENT - HEALTH	(1,477)	102	118	16	Within expected limits
	Regulatory services					
7965-1000	Animal fees		11	11		
7831-1000	Fines - infringement notices	15	3	3		
7980-1000	Kennels amenity special charge	19	10	10	0	
7970-2000	Local laws labour and plant costs	(589)	(102)	(98)	4	
7975-2000	Other local laws costs	(55)	(9)	(9)		
	Environment					

SOMERSET REGIONAL COUNCIL
Variance Reports
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		Revenue or (cost)	Revenue or (cost)	Revenue or (cost)	Favourable (Unfavourable)	
7840-1000	Environmental levy	1,008	504	506	2	
7844-1000	Other environmental revenue			13	13	
7815-1000	Quickspray hire	3				
8145-2000	Natural resource management	(214)	(37)	(28)	9	
7860-2000	Other operating expenses - health and environment	(11)	(2)	(1)	1	
7845-2000	Tree Planting			(10)	(10)	
7885-2000	Pest management costs	(1,116)	(193)	(203)	(10)	
8171-2000	Other environmental expenditure	(45)	(8)	(14)	(6)	
7881-2000	Wild animal bounties	(19)	(3)	(1)	2	
	Public health					
7809-1000	Domestic water carrier permits	2		1	1	
7810-1000	Food hygiene rates	33	17	16	(1)	
7818-1000	Other health fees	1		1	1	
7805-1000	Grants - health/ immunisation programs					
7855-2000	Labour costs - health and environment	(508)	(88)	(79)	9	
8000-0002	ECONOMIC DEVELOPMENT	(485)	(58)	(28)	30	Within expected limits
8051-2000	Lowood development properties	(1)				
8052-2000	Other economic development	(332)	(58)	(5)	53	
7029-1000	EconomicAssistanceDRFA_CRRO - grant	(300)				
7029-2000	EconomicAssistanceDRFA_CRRO - expenditure	149				
8023-1000	DESBT LLER SmallBusinessBoostProgram					
8023-2000	DESBT LLER SmallBusinessBoostProgram			(23)	(23)	
8100-0002	LAND USE PLANNING	(2,300)	(301)	(120)	181	Within expected limits
8120-1000	Fees and charges - planning	661	114	197	83	
8142-2000	Planning scheme amendments	(550)	(18)	(18)		
7981-1000	Poultry industry inspection special charge	26	13	13		
7982-1000	Extractive industry inspection program special charge	38	19	19	0	
8146-2000	Subscriptions	(64)	(11)	(31)	(20)	
8155-2000	Labour costs - planning	(1,581)	(274)	(246)	28	
4160-2000	Legal expenses	(700)	(121)	(49)	72	
8156-2000	Planning consultants	(130)	(23)	(5)	18	
8200-0002	BUILDING SERVICES	19	4	80	76	Within expected limits
8220-1000	Fees and charges - building	600	104	162	58	
7854-2000	Seqwater - wastewater risk mitigation expenditure					
8255-2000	Labour costs - building	(568)	(98)	(82)	16	
8265-2000	Other operating expenses - building	(13)	(2)		2	
9000-0002	PROGRAM - EXECUTIVE	(2,150)	(408)	(315)	93	Within expected limits
9027-2000	Professional education expenses - Cr Brieschke	(6)	(6)		6	
9037-2000	Professional education expenses - Cr Isidro	(6)	(6)		6	
9038-2000	Professional education expenses - Mayor Wendt	(8)	(8)	(2)	6	
9043-2000	Professional education expenses - Cr Hurley	(6)	(6)	(1)	5	
9044-2000	Professional education expenses - Cr Jess	(6)	(6)		6	
9045-2000	Professional education expenses - Cr Freese	(6)	(6)		6	
9046-2000	Professional education expenses - Cr Bishop	(6)	(6)	(1)	5	
9055-2000	Operating expenses - elected members	(828)	(143)	(145)	(2)	
9065-2000	Labour costs - executive	(1,206)	(209)	(138)	71	
9070-2000	Other operating costs - executive	(72)	(12)	(28)	(16)	

Somerset Regional Council

Capital works / actual versus budget

Period 1 July 2024 to 30 August 2024

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Description	Budget (\$000's)	Actual since 1 July 2024 (\$000's)	Committed costs (\$000's)	Total actual and committed (\$000's)	Budget Variance - Favourable/ (Unfav) (\$000's)	Comments
TOTAL BUILDINGS AND STRUCTURES	5,920	127	2,273	2,400	3,518	Within expectations
Regional - Anchor Points For Roofs on Buildings	-	5	-	5	(5)	
Regional - Rapid Logix Spray Data Collection system	30	-	-	-	30	
Regional - SES Upgrades 2324SRCU_SES_Extend Buildings 1	1,000	-	52	52	948 }	
Regional - SES Upgrades 2324SRCU_SES_Extend Buildings 5	-	9	3	12	(12) }	
Solar_LGGSP_Esk Admin Additional coverage	-	-	2	2	(2)	
Esk Lions Park development application process	40	-	-	-	40	
Esk Recreation Grounds additional power supply	20	-	-	-	20	
Fernvale Sports Park - grounds irrigation	690	-	-	-	690	Part-funded under MIIF grant
Fernvale Sports Pk Recycled Water Pipeline	-	-	42	42	(42)	Prior year grant project to be completed this year
Kilcoy Indoor Sports Development Application	-	3	0	3	(3)	
Lowood - Lowood Pool Renewal	-	-	3	3	(3)	
Esk - Esk Admin Roof Repl Eastern End	-	0	2	2	(2)	
Esk Mountain To Mountain Trailhead QLER	-	1	1	2	(2)	
Esk Mount Glen Rock cultural heritage survey	80	-	-	-	80	
Esk Mountain to Mountain trails QLER	-	1	-	1	1	
Esk - MtGlenRockCulturalHeritageSurvey	-	-	80	80	(80)	
Esk - PipelinerParkRefurbAmenities	300	-	176	176	124	
Jimna Landfill Rehabilitation	-	-	46	46	(46)	
Lowood - Greening Lowood Recycle Water Pipe_SEQCSP	1,600	38	1,166	1,204	396	Due December 2024 under funding agreement variation
Stormwater Inspection_Stage5	-	-	3	3	(3)	
Esk Football Grounds Irrigation MIP	-	3	3	6	(6)	
Lowood Recreation Complex MIP upgrades	-	1	239	241	(241)	Grant funded
Lowood Rec Complex Drain Bridge Stabilisation	-	-	19	19	(19)	
Kilcoy CBD Streetscape Design / construction	830	49	12	62	768	
Lowood Futures Stg1 Design Cons	1,130	-	16	16	1,114	
Esk Pipeliner Pk refurbish facilities	-	-	-	-	-	
Rural Stormwater Replace Culverts	-	11	-	11	(11)	
Esk Depot Safety Security Legal Imprv	-	6	10	15	(15)	
Kilcoy Mem Hall Imp Ext Ldg/Bay	-	-	153	153	(153)	Prior year budget of \$400k - \$130k spent in FY2024
Lowood Depot Safety Security Improvements	-	2	10	12	(12)	
Lakeview Pk Shelter Picnic Table	-	-	18	18	(18)	
Fvale Spts Pk Oval Irrig	-	19	20	39	(39)	
Minden Pk Shelters Picnic Tables	-	-	30	30	(30)	

Somerset Regional Council

Capital works / actual versus budget

Period 1 July 2024 to 30 August 2024

Unaudited - for internal purposes only - please read in conjunction with Basis of Accounting

Description	Budget (\$000's)	Actual since 1 July 2024 (\$000's)	Committed costs (\$000's)	Total actual and committed (\$000's)	Budget Variance - Favourable/ (Unfav) (\$000's)	Comments
Coominya Amenities Upgrade	200	-	164	164	36	
Esk, Sandy Creek Crossing	-	1	-	1	(1)	
Lowood Rec Grounds Car Park Solar Lght Veg	- -	20	- -	20	20	
Toogoolawah Pool Rep Chlorine System to Salt	-	-	4	4	(4)	
TOTAL ROAD Resealing	1,965	0	400	400	1,562	Within expectations
Overall Reseal allocation	1,965	-	-	-	1,965	}
Adelaide St Resealing	-	-	11	11	(11)	}
Alpine Ct Resealing	-	-	1	1	(1)	}
ArababyCreekRd Resealing	- -	13	53	40	(40)	}
Argyle Ct Resealing	-	-	5	5	(5)	}
Aspen Dr Resealing	-	-	6	6	(6)	}
Barbour St Resealing	-	-	11	11	(11)	}
Beaumont Rd Resealing	-	-	20	20	(20)	}
Braemore La Resealing	-	-	7	7	(7)	}
Brough Ct Resealing	-	-	13	13	(13)	}
Buaraba CreekRd Resealing	-	-	51	51	(51)	}
Cedar Av Resealing	- -	0	18	18	(18)	}
Cemetery Rd Resealing	-	-	7	7	(7)	}
Chaille Rd Resealing	-	-	3	3	(3)	}
Colinton St Resealing	-	-	7	7	(7)	}
CormackSt Resealing	-	-	5	5	(5)	}
Crest Ct Resealing	- -	0	1	1	(1)	}
DownSt Resealing	-	-	3	3	(3)	}
Dunlop Rd Resealing	-	0	15	15	(15)	}
FrancisTce Esk Resealing	-	-	3	3	(3)	}
Gloucester Ct Resealing	-	-	10	10	(10)	}
Highland St Resealing	-	-	5	5	(5)	}
Huntley Rd Resealing	-	-	11	11	(11)	}
Ivory St Resealing	-	-	9	9	(9)	}
Laurel St Resealing	-	-	2	2	(2)	}
Maronghi St Resealing	-	-	13	13	(13)	}
McConnel St Resealing	-	-	19	19	(19)	}
MtKilcoyRd Reseal	-	10	-	10	(10)	}
Ostrofskis Rd Resealing	-	-	12	12	(12)	}

Somerset Regional Council

Capital works / actual versus budget

Period 1 July 2024 to 30 August 2024

Unaudited - for internal purposes only - please read in conjunction with Basis of Accounting

Description	Budget (\$000's)	Actual since 1 July 2024 (\$000's)	Committed costs (\$000's)	Total actual and committed (\$000's)	Budget Variance - Favourable/ (Unfav) (\$000's)	Comments
Outlook Dr Resealing	-	-	10	10	(10)	}
Pine Cr Resealing	-	-	9	9	(9)	}
Royal Dr Resealing	-	-	20	20	(20)	}
Russell St Esk Resealing	-	-	5	5	(5)	}
Sandy Creek Rd Mt Reseal	-	3	-	3	(3)	}
South St Resealing	-	-	10	10	(10)	}
Wallaby Pl Resealing	-	-	1	1	(1)	}
Old Mount Beppo Rd Resealing	-	-	3	3	(3)	}
Pryce St Resealing	-	-	1	1	(1)	}
Wanora Rd Resealing	-	-	23	23	(23)	}
TOTAL ROAD CAPITAL	32,768	819	10,845	11,664	21,106	Within expectations
Banks Creek Rd (Savages crossing upgrade)	-	4	-	4	(4)	
Brown St Seal Ext + kerb/channel	-	42	36	79	(79)	
Clarendon Rd Rehab and Widen	1,300	0	3	3	1,297	Partly grant funded - TIDS
Esk Crows Nest Seal Extension	-	425	11	436	(436)	Prior year project - due September 2024 - budget is fully expended
Ivory Creek Rd Seal Widen	3,972	16	2,845	2,861	1,111	Partly grant funded - competitive PACP- due February 2025
Lowood Minden Rd widening - Litzows-Lukritz	-	-	82	82	(82)	
Lowood Minden Road - Kisslings Rd	2,130	-	-	-	2,130	Partly grant funded - competitive HVSP - due 2025
Lowood MindenWiden+ Pavement Rehab Zabels Rd North	-	1	38	39	(39)	
Main St Lowood Seal Widen+New Kerb	-	26	27	52	(52)	
Main Street Lowood Seal Widening	2,646	-	-	-	2,646	Partly grant funded - competitive PACP- due February 2025
Main Street Lowood drainage upgrade	120	-	-	-	120	
Middle St Esk Seal Widen	323	-	-	-	323	
Muckerts La/ McCulkins La Seal Extension	10,003	38	-	38	9,965	Partly grant funded - competitive HVSP - due 2027
Murrumba Rd Renew Culvert	-	1	1	2	(2)	
New culverts BVRT Lwd-Fvl	-	-	5	5	(5)	
Patrick Estate Rd culvert	3,741	-	-	-	3,741	DRFA Betterment funded project - due December 2024
Patrick St Seal Widen+NKerb+Footpath	30	-	-	-	30	
PatrickStRenewFootpath	-	1	1	2	(2)	
Cressbrook St Renew Culvert	150	105	3	108	42	
Dingyarra St underground drain	1,987	2	78	80	1,907	Partly grant funded - competitive Disaster Ready Fund
E Summervilles Rd (Burtons bridge recreation area)	-	4	-	4	(4)	
England Ck Rd Renew Culvert	-	5	-	5	(5)	

Somerset Regional Council

Capital works / actual versus budget

Period 1 July 2024 to 30 August 2024

Unaudited - for internal purposes only - please read in conjunction with Basis of Accounting

Description	Budget (\$000's)	Actual since 1 July 2024 (\$000's)	Committed costs (\$000's)	Total actual and committed (\$000's)	Budget Variance - Favourable/ (Unfav) (\$000's)	Comments
Glamorgan Vale Rd Renew Culvert	-	-	126	126	(126)	
Graham Rd LRCI Widen, kerb and underground drainage	800	6	7	13	787	Funded project - allocated LRCIP - Due June 2025
Highland St Renew PathX	-	2	-	2	(2)	
Ivory Ck Rd Seal Extension LRCI	-	7	943	950	(950)	Funded project - allocated LRCIP - Due June 2025
Kilcoy Murgon Rd UG drain	-	2	1	3	(3)	
Litzows Rd Seal Ext	-	4	6	11	(11)	
Lowood Minden HVSPP (Kisslings Rd intersection)	-	12	1,776	1,789	(1,789)	Partly grant funded - competitive HVSPP - due 2025
Prenzlau Rd Wide Rehab	-	-	5	5	(5)	
Railway St Lowood UG drain	-	46	3	49	(49)	
Railway St Lowood NewPath	-	57	35	92	(92)	
Wivenhoe Pocket Rd (Twin bridges recreation area)	-	5	-	5	(5)	
Toogoolawah Biarra Rd Seal Widen	5,566	-	4,812	4,812	754	Partly grant funded - competitive PACP- due February 2025
Waverley & Sheppards Rd Seal Extenti	-	5	-	5	(5)	
TOTAL BRIDGES	11,413	106	156	262	11,151	Within expectations
Buaraba Creek Road Bridge Capex	-	-	2	2	(2)	
Neurum Rd Bridge Capex	6,679	106	154	260	6,419	Funded project - competitive BRP - due 2026
ScrubCreekRdBridgeCapex	4,734	-	-	-	4,734	Funded project - betterment
TOTAL PLANT	1,483	6	938	932	550	Within expectations
Plant changeover	1,483	(27)	-	(27)		
GraderKomatsuG655-7_2024.04p_8	-	445	-	445		
EskLakeVwShelter_2022.03p_40y_	-	-	1	1		
TopconPpeLaserLevel_2024.07p_5	-	7	-	7		
MowerJD1585Series_2023.02p_3y_	-	445	-	445		
LoaderKomatsu_2023.10p_8y_ORDE	-	14	13	26		
Belco2-AxleTrailer_2024.0?p_5y	-	-	15	15		
UDQuonTruck_2024.0?p_8yr_???	-	-	292	292		
IsuzuFRR_CrewCab_2024.??_8yr_?	-	-	194	194		
IsuzuFRR_CrewCab_2024.??_8yr_?	-	-	194	194		
SESFordRangerDCab4x4_2023.05p	-	0	1	2		
SESFordRangerDCab4x4_2023.05p	-	0	1	2		
4AxleFloatTrailer_2024.??p_8y_	-	-	115	115		
4AxleFloatTrailer_2024.??p_8y_	-	-	115	115		
TOTAL CAPITAL EXPENDITURE	53,549	1,046	14,612	15,658	37,887	Within expectations

Somerset Regional Council**Balance sheet****As at 30 August 2024**

Unaudited - for internal purposes only - please read in conjunction with Basis of Accounting

	30 June 2024 provisional \$000's	30 August 2024 \$000's	Change
Operating and trust cash to account	29,283	40,307	
Rate debtors	1,894	20,812	
Equity accounted investments	31,930	31,930	
Non-current receivables	53,804	53,804	
Other net assets	479,961	465,896	
Net community assets	596,872	612,749	3%

Somerset Regional Council
Investment report - please read in conjunction with Basis of Accounting
As at 30 August 2024

Term deposits - operating account

Bank	Maturity	Term (days)	Rate	Amount
BEN	11/11/2024	365	5.20%	\$ 1,000,000

QTC cash fund - operating (nett rate August 2024)	4.95%	\$ 27,765,595
Mayoral Charity Ball account		\$ 59,741
Other cash balances		\$ 11,481,727
Total operating and trust cash brought to account (unrestricted)		\$ 40,307,064

Urban Utilities credit facility #1	4.54%	\$ 13,804,033
Urban Utilities credit facility #2	3.34%	\$ 40,000,000
Weighted average Urban Utilities interest rate (reviewed each 30 June)*	3.65%	

	Budget	Pro-rata budget	Actual YTD
Rates interest	\$ 209,600	\$ 36,277	\$ 50,280
Year to date interest earnings on investments	\$ 3,981,148	\$ 689,045	\$ 545,162
Total interest revenue	\$ 4,190,748	\$ 725,322	\$ 595,442
Interest earned per rateable property	\$ 342	\$ 59	\$ 49

	State target (minimum)	Actual YTD
Unrestricted cash expense ratio	4	6

Line	Creditor	Payment including GST	Comments
1	CPM GROUP PTY LTD	\$ 1,896,413	Flood Restoration Contract Services - ref E001142
2	DURACK CIVIL PTY LTD	\$ 822,642	Contract Infrastructure/Road Works/ Plant Hire - ref E001160
3	SILVERSTRAND DEVELOPMENTS PTY LTD	\$ 750,513	Civil Construction Services - ref E001134
4	CASH	\$ 585,993	Payroll Transaction - ref 1CASH03
5	A & M CIVIL CONTRACTING P/L	\$ 532,475	Contract Road, Bridge, Trail & Park Construction, Maintenance Services/ Materials - ref E001117
6	CASH	\$ 529,117	Payroll Transaction - ref 1CASH05
7	CASH	\$ 526,369	Payroll Transaction - ref 1CASH04
8	KARREMAN GROUP	\$ 438,549	Road Making Material/ Services - ref E001112
9	BROWN CONTRACTORS	\$ 417,200	Contract Infrastructure/Road Works/ Plant Hire - ref E001114
10	A & M CIVIL CONTRACTING P/L	\$ 386,466	Contract Road, Bridge, Trail & Park Construction, Maintenance Services/ Materials - ref E001113
11	DANIEL BANDITT	\$ 318,862	Building Services - ref E001143
12	NAB BUSINESS VISA	\$ 315,320	Credit Card Purchases - ref VISA JUL
13	IPSWICH WASTE SERVICES	\$ 304,819	Kerbside Waste And Other Services - ref E001047
14	RPQ SPRAY SEAL PTY LTD	\$ 291,892	Road Sealing Material/ Services - ref E001194
15	CPM GROUP PTY LTD	\$ 233,572	Flood Restoration Contract Services - ref E001115
16	A & M CIVIL CONTRACTING P/L	\$ 201,866	Contract Road, Bridge, Trail & Park Construction, Maintenance Services/ Materials - ref E001148
17	ACQUIRED AWARENESS TRAFFIC	\$ 197,290	Traffic Control Equipment/ Services - ref E001144
18	ATO DIRECT CREDIT ACCOUNT	\$ 196,697	Payroll Transactions - ref 1ATOPAY0
19	ATO DIRECT CREDIT ACCOUNT	\$ 157,734	Payroll Transactions - ref 1ATOPAY0
20	ATO DIRECT CREDIT ACCOUNT	\$ 156,144	Payroll Transactions - ref 1ATOPAY0
21	HATCH PTY LTD	\$ 142,643	Consulting Engineer Services - ref E001170
22	DANIEL BANDITT	\$ 135,081	Building Services - ref E001021
23	DEPARTMENT OF RESOURCES	\$ 124,695	Valuation Roll State Levies - ref E001078
24	CPM GROUP PTY LTD	\$ 98,888	Flood Restoration Contract Services - ref E001064
25	GHD PTY LTD	\$ 88,197	Asset Design, Assessment, Project Management Services - ref E001044
26	PAYCLEAR	\$ 83,864	Superannuation Contributions - ref SGL PY1P
27	PAYCLEAR	\$ 83,811	Superannuation Contributions - ref SGL PY1P
28	PAYCLEAR	\$ 83,189	Superannuation Contributions - ref SGL PY1P
29	DULLYS DESIGNER HOMES PTY LTD	\$ 79,235	Plant Hire/ Building Services - ref E001219
30	DEPARTMENT OF ENVIRONMENT &	\$ 75,350	State Waste Levy - ref E001077
31	BELLWETHER CONSULTING	\$ 74,822	Engineering Consultancy - ref E001070
32	QUEENSLAND LOCAL	\$ 72,705	(Local Government Mutual - L G M) Liability Insurance Premiums/ Excess - ref E001008
33	GENENG SOLUTIONS PTY LTD	\$ 70,422	Engineering Consultancy - ref E001168
34	BENNETT & BENNETT GROUP	\$ 68,475	Surveying Services - ref E001071
35	BRISBANE VALLEY HIRE &	\$ 56,651	Plant Hire & Consumables - ref E001151
36	URBAN UTILITIES	\$ 55,458	Water / Sewerage Services - ref E001009
37	GAT HAULAGE PTY LTD	\$ 52,850	Plant Hire - ref E001167
38	AUTOMATIC GATES & DOORS P/L	\$ 52,701	Goods/ Services For Automatic Doors/ Gates - ref E001029
39	PACIFIC PETROLEUM P/L	\$ 50,551	Fuel - ref E001097
40	SOUTHERN QUEENSLAND	\$ 49,432	Regional Promotion Services - ref E001136
41	TELSTRA CORPORATION LIMITED	\$ 45,876	Changes/ Relocation Of Telstra Assets - ref E001018
42	ENGENY	\$ 44,094	Engineering Consultancy - ref E001040
43	TOTAL BUILDING MAINTENANCE	\$ 39,630	Town Steward Services - ref E001206
44	G&K LAWSON CONSTRUCTIONS	\$ 39,604	Building Services - ref E001052
45	QLEAVE	\$ 36,870	Qleave Levy - Construction Projects - ref E001109
46	KING & COMPANY SOLICITORS	\$ 36,219	Legal Services - ref E001127
47	BP AUSTRALIA PTY LTD	\$ 33,965	Fuel - ref 13305532
48	ORIGIN ENERGY	\$ 33,479	Electricity Supply - ref E001185
49	KARREMAN GROUP	\$ 33,478	Road Making Material/ Services - ref E001215
50	SHELL ENERGY RETAIL PTY LTD	\$ 33,040	Electricity Supplies Including Streetlighting - ref E001041
51	CASH	\$ 31,782	Payroll Transaction - ref 2CASH03
52	MOORE DIGGERS & TIPPERS P/L	\$ 29,987	Plant Hire - ref E001183
53	CASH	\$ 29,957	Payroll Transaction - ref 2CASH04
54	AG-CRETE INDUSTRIES	\$ 29,154	Concrete Products/ Services - ref E001023
55	CASH	\$ 28,606	Payroll Transaction - ref 2CASH05
56	MT MARROW BLUE METAL	\$ 28,549	Road Making Materials - ref E001129
57	ATLAS EVENTS PTY LTD	\$ 27,764	Sporting Event Services - ref E001119
58	ADVANCED CLEANING	\$ 26,155	Cleaning Services - ref E001145
59	CONPLANT PTY LTD	\$ 25,291	Plant Hire/ Mechanical Parts/ Repairs - ref E001158
60	SUMMIT AUTO LEASE AUST PTY LTD	\$ 24,404	Vehicle Leasing - ref 727719
61	DOWNER EDI WORKS PTY LTD	\$ 23,887	Road Making Materials - ref E001079
62	ALLIANCE PLANNING	\$ 22,528	Masterplanning Consultancy - ref E001147
63	TOYOTA FINANCE AUSTRALIA LTD	\$ 21,322	Vehicle Leasing - ref 1523016
64	PINION ADVISORY	\$ 21,126	Engineering Services - ref E001187
65	RILCORP PTY LTD	\$ 18,434	Plant Hire - ref E001049
66	THE SOCIAL STRATEGIES CO P/L	\$ 17,800	Social Services Consultancy - ref E001060
67	APTELLA PTY LTD	\$ 17,622	Mechanical Parts/ Repairs - ref E001099
68	JUST SPORTS N FITNESS	\$ 17,545	Pool Management Services - ref E001088
69	A & M CIVIL CONTRACTING P/L	\$ 17,327	Contract Road, Bridge, Trail & Park Construction, Maintenance Services/ Materials - ref E001218
70	DOUGLAS PARTNERS PTY LTD	\$ 17,287	Geotechnical Consultancy - ref E001038
Total largest 70 external payments		\$ 11,711,734	
Total payments		\$ 16,172,689	

TRNDATE	REF	NAME	Detail	Amount
30-Jul-24	E000992	BRISBANE CITY COUNCIL	LAND FOR WILDLIFE	11,959.72
30-Jul-24	E000993	ANDREW COLEMAN MUSIC	EVENT ENTERTAINMENT SERVICES	800.00
30-Jul-24	E000994	CONNOR JACKSON ELECTRICAL P/L	ELECTRICAL SERVICES	445.50
30-Jul-24	E000995	ELT RUBBER PTY LTD	TYRE DISPOSAL SERVICES	12,661.00
30-Jul-24	E000996	ESK PLUMBING & DRAINAGE	PLUMBING SERVICES	1,243.00
30-Jul-24	E000997	IPSWICH PARTY HIRE	EQUIPMENT HIRE BVRT FUN RUN	4,242.60
30-Jul-24	E000998	NICHOLAS JAMES JONES	BALANCE PAYMENT BVRT FUN RUN	1,482.80
30-Jul-24	E000999	RILCORP PTY LTD	PLANT HIRE	6,011.58
30-Jul-24	E001000	KILCOY GYMNASISTICS CLUB INC	COMMUNITY ASSISTANCE GRANT	4,624.00
30-Jul-24	E001001		BOND REFUND	441.00
30-Jul-24	E001002	KING & COMPANY SOLICITORS	LEGAL SERVICES	5,280.00
30-Jul-24	E001003	LET THERE BE LIGHT ELECTRICAL	ELECTRICAL SERVICES	2,373.86
30-Jul-24	E001004	LIONS CLUB OF FERNVALE INC	CATERING SERVICES	610.00
30-Jul-24	E001005	O'KEEFE ELECTRICS	ELECTRICAL SERVICES	320.65
30-Jul-24	E001006	OUT THERE CYCLING	BUS HIRE	3,500.00
30-Jul-24	E001007	ON DEMAND PLUMBING & GAS P/L	PLUMBING SERVICES	397.50
(LOCAL GOVERNMENT MUTUAL - L G M)				
30-Jul-24	E001008	QUEENSLAND LOCAL	LIABILITY INSURANCE PREMIUMS/ EXCESS	72,705.49
30-Jul-24	E001009	URBAN UTILITIES	WATER / SEWERAGE SERVICES	55,458.49
30-Jul-24	E001010	STAR BROADCASTING NETWORK	ADVERTISING	13,576.46
30-Jul-24	E001011	ROBINSON FAMILY PASTORAL P/L	FENCING PRODUCTS/ SERVICES	10,120.00
30-Jul-24	E001012	RPQ SPRAY SEAL PTY LTD	ROAD SEALING MATERIAL/ SERVICES	9,240.00
30-Jul-24	E001013		ALLEGED DAMAGES SETTLEMENT	1,095.00
30-Jul-24	E001014	SEQWATER	LAND DEALING MATTER (BRIDGE RENEWAL)	5,000.00
30-Jul-24	E001015	SHAVE AND BRETT PTY LTD	FINANCIAL CONSULTANCY	616.00
30-Jul-24	E001016		LAND DEALING MATTER SETTLEMENT	5,000.00
30-Jul-24	E001017	SOILTECH TESTING SERVICES P/L	SOIL/ CONCRETE TESTING SERVICES	6,644.00
30-Jul-24	E001018	TELSTRA CORPORATION LIMITED	CHANGES/ RELOCATION OF TELSTRA ASSETS	45,876.16
30-Jul-24	E001019		REFUND OF OVERPAID RATES	805.71
30-Jul-24	E001020	BRISBANE VALLEY COURIERS	FREIGHT SERVICES	4,390.10
30-Jul-24	E001021	DANIEL BANDITT	BUILDING SERVICES	135,080.69
30-Jul-24	E001022	GRAHAM SNOW	EVENT ENTERTAINMENT	700.00
31-Jul-24	E001023	AG-CRETE INDUSTRIES	CONCRETE PRODUCTS/ SERVICES	29,154.40
31-Jul-24	E001024		EXPENSE REIMBURSEMENT	6,666.00
7-Aug-24	E001025	AEC GROUP PTY LTD	ECONOMIC CONSULTANCY	11,517.00
7-Aug-24	E001026	ANIMAL CARE EQUIPMENT & SERVICES (AUS)	ANIMAL CONTROL GOODS/SERVICES	1,679.85
7-Aug-24	E001027	JUAN MIGUEL AQUILIZAN	ARTS EVENT SERVICES	750.00
7-Aug-24	E001028	JESSICA RAE DORIZAC AQUILIZAN	ARTS EVENT SERVICES	500.00
7-Aug-24	E001029	AUTOMATIC GATES & DOORS P/L	GOODS/ SERVICES FOR AUTOMATIC DOORS/ GATES	52,701.00
7-Aug-24	E001030		SPORTS BURSARY	500.00
7-Aug-24	E001031	BIZEASSET PTY LTD	MAINTENANCE & DEVELOPMENT - ASSET MANAGEMENT SYSTEM	9,900.00
7-Aug-24	E001032	BRISBANE CITY COUNCIL	ASPHALT	4,211.11
7-Aug-24	E001033	BRISBANE VALLEY RAIL TRAIL	(USERS ASSOC) EVENT SERVICES	6,300.00
7-Aug-24	E001034		SPORTS BURSARY	500.00
7-Aug-24	E001035		BOND REFUND	441.00
7-Aug-24	E001036	BV SECURITY SERVICES (QLD) P/L	SECURITY SERVICES	12,200.10
7-Aug-24	E001037	DATACOM SYSTEMS (AU) PTY LTD	ICT GOODS/ SERVICES	1,860.54
7-Aug-24	E001038	DOUGLAS PARTNERS PTY LTD	GEOTECHNICAL CONSULTANCY	17,286.50
7-Aug-24	E001039		SPORTS BURSARY	500.00
7-Aug-24	E001040	ENGENY	ENGINEERING CONSULTANCY	44,093.50
7-Aug-24	E001041	SHELL ENERGY RETAIL PTY LTD	ELECTRICITY SUPPLIES INCLUDING STREETLIGHTING	33,039.82
7-Aug-24	E001042	ESK SES FINANCIAL SUPPORT	RURAL PROPERTY NUMBERING	90.00
7-Aug-24	E001043	GD TRENT LANDSCAPES	VEGETATION MANAGEMENT SERVICES	2,200.00
7-Aug-24	E001044	GHD PTY LTD	ASSET DESIGN, ASSESSMENT, PROJECT MANAGEMENT SERVICES	88,197.02
7-Aug-24	E001045	JOHN HARRISON LOGGING &	PLANT HIRE	8,158.30
7-Aug-24	E001046	HEALTHY LIFESTYLES AUSTRALIA	EVENT ENTERTAINMENT/ ACTIVE & HEALTHY PROGRAM SERVICES	800.00
7-Aug-24	E001047	IPSWICH WASTE SERVICES	KERBSIDE WASTE AND OTHER SERVICES	304,819.43
7-Aug-24	E001048		SPORTS BURSARY	250.00
7-Aug-24	E001049	RILCORP PTY LTD	PLANT HIRE	18,434.46
7-Aug-24	E001050	KILCOY SES FINANCIAL	CATERING SERVICES	842.77
7-Aug-24	E001051		SPORTS BURSARY	500.00
7-Aug-24	E001052	G&K LAWSON CONSTRUCTIONS	BUILDING SERVICES	39,604.44
7-Aug-24	E001053	LINK LOGIC PTY LTD	STORAGE & LOGISTICS - SOMERSET TOURISM BROCHURE	167.59
7-Aug-24	E001054	MEDIA MORTAR AGENCY PTY LTD	COMMUNICATIONS SERVICES	7,337.00
7-Aug-24	E001055	MINDEN BUS SERVICE	BUS HIRE	1,969.00
7-Aug-24	E001056		SPORTS BURSARY	500.00
7-Aug-24	E001057	QLEAVE	QLEAVE LEVY - CONSTRUCTION PROJECTS	2,528.21

TRNDATE	REF	NAME	Detail	Amount
7-Aug-24	E001058	SENTRY PEST MANAGEMENT	PEST CONTROL	9,485.00
7-Aug-24	E001059		SPORTS BURSARY	1,000.00
7-Aug-24	E001060	THE SOCIAL STRATEGIES CO P/L	SOCIAL SERVICES CONSULTANCY	17,800.00
7-Aug-24	E001061		REFUND OF OVERPAID RATES	6,000.00
7-Aug-24	E001062	VALLEY WASTE WATER MANAGEMENT	WASTE WATER SYSTEM MAINTENANCE/ INSTALLATION	3,936.00
7-Aug-24	E001063	VORTEX REFRIGERATION	REFRIGERATION/ AIR CONDITIONING SERVICES/ COMPONENTS	687.95
7-Aug-24	E001064	CPM GROUP PTY LTD	FLOOD RESTORATION CONTRACT SERVICES	98,887.73
13-Aug-24	E001065	ACADEMY PRINTING	PRINTING SERVICES	1,100.00
13-Aug-24	E001066	ASSIST FIRST AID PTY LTD	EVENT SERVICES	2,543.75
13-Aug-24	E001067	AUSTRALIA POST BILLPAY	ELECTRONIC RECEIPTING SYSTEM SERVICES	738.96
13-Aug-24	E001068	AUSTRALIAN RADIO NETWORK P/L	PROMOTIONAL SERVICES	3,019.50
13-Aug-24	E001069	AUSTSPRAY ENVIRONMENTAL	VEGETATION MANAGEMENT SERVICES	14,568.38
13-Aug-24	E001070	BELLWETHER CONSULTING	ENGINEERING CONSULTANCY	74,822.00
13-Aug-24	E001071	BENNETT & BENNETT GROUP	SURVEYING SERVICES	68,475.00
13-Aug-24	E001072	BUDGET CAR AND TRUCK RENTAL	CAR RENTALS	1,958.79
13-Aug-24	E001073	BRISBANE VALLEY FARM SUPPLIES	ANIMAL FOOD	124.30
13-Aug-24	E001074	CITY GENERATORS	MECHANICAL PARTS/ REPAIRS SOIL/ CONCRETE/ OTHER TESTING SERVICES	1,727.32
13-Aug-24	E001075	CONSTRUCTION SCIENCES PTY LTD	BUILDING SERVICES	1,452.44
13-Aug-24	E001076	DANIEL BANDITT	STATE WASTE LEVY	11,287.50
13-Aug-24	E001077	DEPARTMENT OF ENVIRONMENT &	VALUATION ROLL STATE LEVIES	75,350.10
13-Aug-24	E001078	DEPARTMENT OF RESOURCES	ROAD MAKING MATERIALS	124,695.38
13-Aug-24	E001079	DOWNER EDI WORKS PTY LTD	PLANNING CONSULTANCY/ VEGETATION MAINTENANCE	23,886.50
13-Aug-24	E001080	ECOSURE PTY LTD	PLUMBING SERVICES	14,003.00
13-Aug-24	E001081	ESK PLUMBING & DRAINAGE	BUILDING SERVICES	1,457.50
13-Aug-24	E001082	GREGORY MARK EVA	METAL PRODUCTS	2,992.00
13-Aug-24	E001083	FERNVALE PRODUCE	EXPENSE REIMBURSEMENT	3,555.00
13-Aug-24	E001084		TYRES/ SERVICES/ MECHANICAL PARTS	235.96
13-Aug-24	E001085	FLEET TYRE PTY LTD	ASPHALT	5,227.00
13-Aug-24	E001086	FULTON HOGAN INDUSTRIES P/L	POOL MANAGEMENT SERVICES	7,606.50
13-Aug-24	E001088	JUST SPORTS N FITNESS	CLEANING SERVICES	17,545.00
13-Aug-24	E001089	KILCOY RACE CLUB	ELECTRICAL SERVICES	3,312.40
13-Aug-24	E001092	LET THERE BE LIGHT ELECTRICAL	TRAINING SERVICES	7,793.84
13-Aug-24	E001093	LOCAL GOVERNMENT ASSOCIATION	WASTE MANAGEMENT SERVICES	495.00
13-Aug-24	E001094	KAINE DIVERSE GROUP PTY LTD	LOCKSMITH SERVICES	12,441.80
13-Aug-24	E001095	LOCKYER LOCKS	SURVEYING/ PLANNING SERVICES	2,335.00
13-Aug-24	E001096	ONF SURVEYORS	FUEL	4,952.55
13-Aug-24	E001097	PACIFIC PETROLEUM P/L	AFTER HOURS CUSTOMER SERVICE	50,550.82
13-Aug-24	E001098	PEAK SERVICES PTY LTD	MECHANICAL PARTS/ REPAIRS	1,070.66
13-Aug-24	E001099	APTELLA PTY LTD	ASBESTOS SERVICES	17,622.00
13-Aug-24	E001100	PRENSA PTY LTD	FERNVALE PCYC OPERATIONS	14,173.50
13-Aug-24	E001101	QLD POLICE-CITIZENS YOUTH	EVENT ENTERTAINMENT SERVICES	10,416.67
13-Aug-24	E001102	SHAKE & STIR THEATRE CO	HUMAN RESOURCES/SAFETY SOFTWARE	3,300.00
13-Aug-24	E001103	SKYTRUST		933.90
13-Aug-24	E001104	SOMERSET HEALTH AND FITNESS	SPORTS FACILITY MANAGEMENT SERVICES	13,995.78
13-Aug-24	E001105	SOMERSET LIQUID WASTE	SEPTIC SERVICES	1,496.00
13-Aug-24	E001106	ULVERSCROFT AUSTRALIA P/L	LIBRARY RESOURCES	6,875.00
13-Aug-24	E001107	CRESSBROOK NEWS	NEWSPAPERS/ STATIONERY	157.82
13-Aug-24	E001108		BOND REFUND	486.00
13-Aug-24	E001109	QLEAVE	QLEAVE LEVY - CONSTRUCTION PROJECTS	36,869.51
13-Aug-24	E001110	O'KEEFE ELECTRICS	ELECTRICAL SERVICES	257.40
13-Aug-24	E001111		EXPENSE REIMBURSEMENT	7,034.70
13-Aug-24	E001112	KARREMAN GROUP	ROAD MAKING MATERIAL/ SERVICES CONTRACT ROAD, BRIDGE, TRAIL & PARK CONSTRUCTION, MAINTENANCE SERVICES/ MATERIALS	438,548.76
14-Aug-24	E001113	A & M CIVIL CONTRACTING P/L	CONTRACT INFRASTRUCTURE/ROAD WORKS/ PLANT HIRE	386,465.85
14-Aug-24	E001114	BROWN CONTRACTORS		417,200.12
14-Aug-24	E001115	CPM GROUP PTY LTD	FLOOD RESTORATION CONTRACT SERVICES CONTRACT ROAD, BRIDGE, TRAIL & PARK CONSTRUCTION, MAINTENANCE SERVICES/ MATERIALS	233,572.28
19-Aug-24	E001117	A & M CIVIL CONTRACTING P/L	ARTS EVENT SERVICES	532,474.65
19-Aug-24	E001118	ARTHOUSE	SPORTING EVENT SERVICES	935.00
19-Aug-24	E001119	ATLAS EVENTS PTY LTD	BENCHMARKING SOFTWARE	27,764.00
19-Aug-24	E001120	BENCHMARK GLOBAL PTY LTD	BUILDING SERVICES	1,578.50
19-Aug-24	E001121	DANIEL BANDITT	TRAINING SERVICES	11,694.41
19-Aug-24	E001123	EMC TRAINING	PLUMBING SERVICES	1,500.00
19-Aug-24	E001124	ESK PLUMBING & DRAINAGE	HUMAN RESOURCES CONSULTANCY SERVICES	847.00
19-Aug-24	E001125	GRAVITAS LEADERSHIP GROUP		3,300.00

TRNDATE	REF	NAME	Detail	Amount
19-Aug-24	E001126		REFUND CANCELLED SEARCHES	1,105.00
19-Aug-24	E001127	KING & COMPANY SOLICITORS	LEGAL SERVICES	36,218.97
19-Aug-24	E001128	MT BEPPO PUBLIC HALL	COMMUNITY ASSISTANCE GRANT	2,989.00
19-Aug-24	E001129	MT MARROW BLUE METAL	ROAD MAKING MATERIALS	28,548.80
19-Aug-24	E001130	NOISENET OPERATIONS PTY LTD	ACOUSTIC CONSULTANCY SERVICES	9,262.00
19-Aug-24	E001131	PROJEX PARTNERS PTY LTD	ENGINEERING SERVICES	9,267.78
19-Aug-24	E001132	QLEAVE	QLEAVE LEVY - CONSTRUCTION PROJECTS	9,061.00
19-Aug-24	E001133	ROBINSON FAMILY PASTORAL P/L	FENCING PRODUCTS/ SERVICES	2,500.00
19-Aug-24	E001134	SILVERSTRAND DEVELOPMENTS PTY LTD	CIVIL CONSTRUCTION SERVICES	750,512.62
19-Aug-24	E001135	SOMERSET LIQUID WASTE	SEPTIC SERVICES	300.00
19-Aug-24	E001136	SOUTHERN QUEENSLAND	REGIONAL PROMOTION SERVICES	49,431.89
19-Aug-24	E001137	TOOGOOLOWAH STATE SCHOOL P&C	COMMUNITY ASSISTANCE GRANT	2,445.58
19-Aug-24	E001138		REFUND OVERPAID FEE	1,258.00
19-Aug-24	E001139		EXPENSE REIMBURSEMENT	249.51
19-Aug-24	E001140	YOWIE TILING	BUILDING SERVICES	1,210.00
19-Aug-24	E001141	LOWOOD IRRIGATION PTY LTD	PLUMBING SUPPLIES/ SERVICES	3,999.21
20-Aug-24	E001142	CPM GROUP PTY LTD	FLOOD RESTORATION CONTRACT SERVICES	1,896,412.92
23-Aug-24	E001143	DANIEL BANDITT	BUILDING SERVICES	318,861.98
27-Aug-24	E001144	ACQUIRED AWARENESS TRAFFIC	TRAFFIC CONTROL EQUIPMENT/ SERVICES	197,290.47
27-Aug-24	E001145	ADVANCED CLEANING	CLEANING SERVICES	26,154.95
27-Aug-24	E001146	AEC GROUP PTY LTD	ECONOMIC CONSULTANCY	5,758.50
27-Aug-24	E001147	ALLIANCE PLANNING	MASTERPLANNING CONSULTANCY	22,528.00
27-Aug-24	E001148	A & M CIVIL CONTRACTING P/L	CONTRACT ROAD, BRIDGE, TRAIL & PARK MATERIALS	201,866.45
27-Aug-24	E001149	AUSCOAST FIRE SERVICES P/L	FIRE PREVENTION SERVICES	3,843.61
27-Aug-24	E001150	BROWN CONTRACTORS	CONTRACT INFRASTRUCTURE/ROAD WORKS/ PLANT HIRE	9,457.80
27-Aug-24	E001151	BRISBANE VALLEY HIRE &	PLANT HIRE & CONSUMABLES	56,651.15
27-Aug-24	E001152	CAMS TIPPING PTY LTD	PLANT HIRE	1,200.00
27-Aug-24	E001153	CANDY SHOP SHOW AUSTRALIA	EVENT ENTERTAINMENT SERVICES	1,000.00
27-Aug-24	E001154	CASTROL AUSTRALIA PTY LIMITED	LUBRICANTS/ MECHANICAL FLUIDS	6,012.94
27-Aug-24	E001155	COAST & COUNTRY BUSES	BUS HIRE	858.00
27-Aug-24	E001156	COMTECH BUSINESS	PHOTOCOPIER/ PRINTER SERVICES	462.70
27-Aug-24	E001157	CONNOR JACKSON ELECTRICAL P/L	ELECTRICAL SERVICES	2,970.00
27-Aug-24	E001158	CONPLANT PTY LTD	PLANT HIRE/ MECHANICAL PARTS/ REPAIRS	25,291.20
27-Aug-24	E001159	DOWNS TRAILER BOAT CLUB INC	COMMUNITY ASSISTANCE GRANT	2,750.00
27-Aug-24	E001160	DURACK CIVIL PTY LTD	CONTRACT INFRASTRUCTURE/ROAD WORKS/ PLANT HIRE	822,642.08
27-Aug-24	E001161		REFUND CANCELLED SEARCH	356.00
27-Aug-24	E001162		BOND REFUND	1,130.00
27-Aug-24	E001163	ESK PLUMBING & DRAINAGE	PLUMBING SERVICES	1,287.00
27-Aug-24	E001164	EYE SPY SECURITY QLD PTY LTD	SECURITY/ ALARM/ CCTV SYSTEM SERVICES	571.12
27-Aug-24	E001165	FORMS EXPRESS PTY LTD	VARIABLE PRINTING SERVICES	13,975.33
27-Aug-24	E001166		EXCELLENCE BURSARY	250.00
27-Aug-24	E001167	GAT HAULAGE PTY LTD	PLANT HIRE	52,849.50
27-Aug-24	E001168	GENENG SOLUTIONS PTY LTD	ENGINEERING CONSULTANCY	70,421.84
27-Aug-24	E001169	GTC ENTERPRISES PTY LTD ATF	CONCRETE PRODUCTS/ SERVICES	9,950.87
27-Aug-24	E001170	HATCH PTY LTD	CONSULTING ENGINEER SERVICES	142,642.50
27-Aug-24	E001171	JR & SS HENDERSON	CLEANING SERVICES	3,728.26
27-Aug-24	E001172	HOLDING REDLICH	LEGAL SERVICES	5,023.79
27-Aug-24	E001173	HUESKER AUSTRALIA PTY LTD	GEOFABRIC PRODUCTS	9,706.40
27-Aug-24	E001174	HOLCIM AUSTRALIA PTY LIMITED	CONCRETE PRODUCTS	16,444.74
27-Aug-24	E001175	INFINITY WORKWEAR & SAFETY	UNIFORMS	310.00
27-Aug-24	E001176	KILCOY RACE CLUB	RACE SPONSORSHIP	1,100.00
27-Aug-24	E001177	KINGAROY FREIGHT EXPRESS	FREIGHT	460.21
27-Aug-24	E001178	LET THERE BE LIGHT ELECTRICAL	ELECTRICAL SERVICES	8,941.65
27-Aug-24	E001179	LINK LOGIC PTY LTD	STORAGE & LOGISTICS - SOMERSET TOURISM BROCHURE	494.74
27-Aug-24	E001180	LOWOOD HARDWARE MITRE 10	HARDWARE/ RURAL PRODUCTS	5,137.00
27-Aug-24	E001181	MASTER HIRE PTY LTD	PLANT & EQUIPMENT HIRE	8,555.91
27-Aug-24	E001182	MEDIA MORTAR AGENCY PTY LTD	COMMUNICATIONS SERVICES	1,353.00
27-Aug-24	E001183	MOORE DIGGERS & TIPPERS P/L	PLANT HIRE	29,987.13
27-Aug-24	E001184	MUSEUMS & GALLERIES OF NSW LTD	ARTS EVENT SERVICES	4,950.00
27-Aug-24	E001185	ORIGIN ENERGY	ELECTRICITY SUPPLY	33,479.43
27-Aug-24	E001186	PCYC FERNVALE	EVENT ENTERTAINMENT SERVICES	500.00
27-Aug-24	E001187	PINION ADVISORY	ENGINEERING SERVICES	21,125.50
27-Aug-24	E001188	POOL SHOP QLD PTY LTD	POOL SUPPLIES/ SERVICES	8,544.80
27-Aug-24	E001189	QLEAVE	QLEAVE LEVY - CONSTRUCTION PROJECTS	12,504.00
27-Aug-24	E001190	RDH INTEGRATION SERVICES	CCTV/ SECURITY/ ELECTRICAL SERVICES	7,376.99

TRNDATE	REF	NAME	Detail	Amount
27-Aug-24	E001191		REFUND DA FEE	3,389.00
27-Aug-24	E001192	ROGUE ADVENTURE PTY LTD	EVENT SERVICES	2,750.00
27-Aug-24	E001193	ROYAL SEATING HIRE	EVENT HIRE SERVICES	1,250.00
27-Aug-24	E001194	RPQ SPRAY SEAL PTY LTD	ROAD SEALING MATERIAL/ SERVICES	291,891.85
27-Aug-24	E001195	SEQWATER	LEGAL SERVICES (LAND MATTER)	3,695.92
27-Aug-24	E001196	S.E.T. PAINTING & CONTRACTING	PAINTING / MISCELLANEOUS BUILDING SERVICES	1,155.00
27-Aug-24	E001197	SHEPHERD SERVICES PTY LTD	ENGINEERING/ ASSET MANAGEMENT SERVICES/ EQUIPMENT	8,663.60
27-Aug-24	E001198	SKYLINE LANDSCAPE	VEGETATION MANAGEMENT SERVICES	916.30
27-Aug-24	E001199	SOUTHERN QUEENSLAND	REGIONAL PROMOTION SERVICES	5,009.40
27-Aug-24	E001200	SOUTH QLD PARCEL SERVICE P/L	FREIGHT SERVICES	1,135.28
27-Aug-24	E001201	SPECIALISED PAVEMENT	STREET SWEEPING SERVICES	10,692.00
27-Aug-24	E001202	STEVENSON CONSULTING PTY LTD	MANAGEMENT CONSULTING SERVICES	140.00
27-Aug-24	E001203	TELSTRA LIMITED	TELECOMMUNICATIONS SERVICES	4,365.47
27-Aug-24	E001204	TODD TRANSPORT PTY LTD	PLANT HIRE SERVICES	2,200.00
27-Aug-24	E001205	TOOGOLAWAH & DISTRICT	COMMUNITY ASSISTANCE GRANT	2,500.00
27-Aug-24	E001206	TOTAL BUILDING MAINTENANCE	TOWN STEWARD SERVICES	39,629.90
27-Aug-24	E001207	TOTAL TOOLS MORAYFIELD	TOOLS/ PARTS	7,413.89
27-Aug-24	E001208	VALMONT COATINGS	METAL PRODUCTS AND SERVICES	1,246.12
27-Aug-24	E001209	VELOTRANS	EVENT HIRE SERVICES	959.99
27-Aug-24	E001210	SUSAN MICHELE WELLINGHAM	ARTS EVENT SERVICES	500.00
27-Aug-24	E001211	YOWIE COURIERS	FREIGHT SERVICES	75.00
27-Aug-24	E001212	HY-TEC INDUSTRIES (QLD) PTY LTD	CONCRETE PRODUCTS	3,909.84
27-Aug-24	E001213	AQUAMONIX PTY LIMITED	COMMUNICATION/ FLOOD EQUIPMENT/ SERVICES	2,854.39
27-Aug-24	E001214	AUSTRALIAN HEIGHT SAFETY	SAFE ROAD ACCESS AUDIT	5,060.00
27-Aug-24	E001215	KARREMAN GROUP	ROAD MAKING MATERIAL/ SERVICES	33,478.23
27-Aug-24	E001216	KING ARCHITECTURAL ENGINEERING	ARCHITECTURAL ENGINEERING SERVICES	450.00
27-Aug-24	E001217	DIGITAL JUNGLE P/L	AUDIO VISUAL SERVICES AND EQUIPMENT	3,652.00
27-Aug-24	E001218	A & M CIVIL CONTRACTING P/L	CONTRACT ROAD, BRIDGE, TRAIL & PARK CONSTRUCTION, MAINTENANCE SERVICES/ MATERIALS	17,326.53
29-Aug-24	E001219	DULLYS DESIGNER HOMES PTY LTD	PLANT HIRE/ BUILDING SERVICES	79,235.25
30-Jul-24	59798	MONTROSE ON MOORE PTY LTD	TOURISM PROMOTION	165.00
20-Aug-24	59799	CASH	SUNDRY PETTY CASH	917.20
28-Aug-24	59800	INFINITY INTERNATIONAL PTY LTD	FUEL	2,079.87
2-Aug-24	INVEST 2	QUEENSLAND TREASURY CORP	INVESTMENT MOVEMENT	2,200,000.00
22-Aug-24	INVEST 2	QUEENSLAND TREASURY CORP	INVESTMENT MOVEMENT	600,000.00
27-Aug-24	INVEST 2	QUEENSLAND TREASURY CORP	INVESTMENT MOVEMENT	730,000.00
31-Jul-24	45474	FREEDOM FUELS FERNVALE	FUEL	2,768.52
1-Jul-24	45444	DRAKES	CONSUMABLES	197.85
31-Jul-24	MERCH 31	NATIONAL AUSTRALIA BANK	BANK CHARGES	260.69
30-Jul-24	NAB CON	NATIONAL AUSTRALIA BANK	BANK CHARGES	70.89
7-Aug-24	P1597790	PRINT MANAGEMENT FACILITIES	PRINTER SERVICES	7,195.65
20-Aug-24	RATES-08	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	78,497.58
7-Aug-24	SERENTAL	S.E. RENTALS PTY LTD	PRINTER SERVICES	1,845.58
29-Jul-24	SGL PY1P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	83,810.79
5-Aug-24	SGL PY1P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	191.20
9-Aug-24	SGL PY1P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	83,189.38
26-Aug-24	SGL PY1P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	83,864.05
29-Jul-24	SGL PY2P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	2,822.09
9-Aug-24	SGL PY2P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	2,983.38
26-Aug-24	SGL PY2P	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	2,822.09
6-Aug-24	VISA JUL	NAB BUSINESS VISA	CREDIT CARD PURCHASES	315,319.81
31-Jul-24	13305532	BP AUSTRALIA PTY LTD	FUEL	33,964.73
1-Jul-24	1435479	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	470.33
8-Aug-24	1523016	TOYOTA FINANCE AUSTRALIA LTD	VEHICLE LEASING	21,322.38
13-Aug-24	1542656	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	240.00
6-Aug-24	15811892	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	959.97
23-Aug-24	1598001	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	518.66
27-Aug-24	1598001	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	604.99
3-Aug-24	1598002	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	788.66
15-Aug-24	1644721	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	730.00
28-Aug-24	1651232	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	2,101.00
22-Aug-24	1651238	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	765.00
26-Aug-24	18013252	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	441.00
29-Jul-24	1ATOPAY0	ATO DIRECT CREDIT ACCOUNT	PAYROLL TRANSACTIONS	196,697.00
5-Aug-24	1ATOPAY0	ATO DIRECT CREDIT ACCOUNT	PAYROLL TRANSACTIONS	242.00
9-Aug-24	1ATOPAY0	ATO DIRECT CREDIT ACCOUNT	PAYROLL TRANSACTIONS	156,144.00
26-Aug-24	1ATOPAY0	ATO DIRECT CREDIT ACCOUNT	PAYROLL TRANSACTIONS	157,734.00
29-Jul-24	1CASH03	CASH	PAYROLL TRANSACTION	585,992.58
5-Aug-24	1CASH04	CASH	PAYROLL TRANSACTION	1,914.71
9-Aug-24	1CASH04	CASH	PAYROLL TRANSACTION	526,368.94
26-Aug-24	1CASH05	CASH	PAYROLL TRANSACTION	529,117.31
29-Jul-24	1CFMEUN0	CFMEU CONSTRUCTION & GENERAL	PAYROLL DEDUCTIONS	253.40

SOMERSET REGIONAL COUNCIL
REPORT ON PAYMENTS PROCESSED FROM 25 JULY 2024 TO 30 AUGUST 2025



TRNDATE	REF	NAME	Detail	Amount
9-Aug-24	1CFMEUN0	CFMEU CONSTRUCTION & GENERAL	PAYROLL DEDUCTIONS	253.40
26-Aug-24	1CFMEUN0	CFMEU CONSTRUCTION & GENERAL	PAYROLL DEDUCTIONS	253.40
29-Jul-24	1CHILSU0	Child Support Agency	PAYROLL DEDUCTIONS	681.37
9-Aug-24	1CHILSU0	Child Support Agency	PAYROLL DEDUCTIONS	681.37
26-Aug-24	1CHILSU0	Child Support Agency	PAYROLL DEDUCTIONS	681.37
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	745.22
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	984.88
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	612.02
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	160.00
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	2,566.51
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	1,030.00
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	50.83
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	8,303.23
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	12,845.62
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	298.92
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	60.00
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	549.50
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	903.38
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	184.01
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	358.84
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	149.35
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	519.80
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	178.56
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	341.23
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	167.24
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	162.52
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	181.70
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	237.28
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	267.60
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	130.00
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	216.38
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	159.84
29-Jul-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
5-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	60.51
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	745.22
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	984.88
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	611.81
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	160.00
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	2,566.51
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	1,030.00
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	50.83
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	7,930.11
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	12,836.34
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	60.00
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	503.09
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	942.14
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	184.01
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	354.91
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	153.27
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	521.54
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	188.55
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	309.48
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	152.49
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	159.40
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	181.68
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	237.28
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	267.60
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	130.00
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	216.39
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	166.47
9-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	745.22
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	984.88
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	611.81
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	110.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	2,566.51
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	530.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	50.83
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	8,062.54
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	12,835.58
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	110.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	549.50
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	919.03
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	184.01
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	354.91

SOMERSET REGIONAL COUNCIL
REPORT ON PAYMENTS PROCESSED FROM 25 JULY 2024 TO 30 AUGUST 2025



TRNDATE	REF	NAME	Detail	Amount
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	149.35
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	514.35
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	367.46
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	315.50
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	161.44
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	159.40
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	181.68
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	237.28
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	267.60
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	130.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	216.38
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	164.33
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	200.00
26-Aug-24	1PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	70.58
29-Jul-24	1SUNSUP0	SUNSUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS	1,801.88
9-Aug-24	1SUNSUP0	SUNSUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS	1,775.37
26-Aug-24	1SUNSUP0	SUNSUPER PTY LTD	SUPERANNUATION CONTRIBUTIONS	2,025.62
29-Jul-24	1TRANWU0	TRANSPORT WORKERS UNION	PAYROLL DEDUCTIONS	29.00
21-Aug-24	26	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	150.00
29-Jul-24	2CASH03	CASH	PAYROLL TRANSACTION	31,782.07
9-Aug-24	2CASH04	CASH	PAYROLL TRANSACTION	29,957.12
26-Aug-24	2CASH05	CASH	PAYROLL TRANSACTION	28,605.58
29-Jul-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	210.34
29-Jul-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	178.79
29-Jul-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	336.55
9-Aug-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	226.73
9-Aug-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	192.09
9-Aug-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	336.55
26-Aug-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	210.34
26-Aug-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	178.79
26-Aug-24	2PAYCLE0	PAYCLEAR	SUPERANNUATION CONTRIBUTIONS	336.55
31-Jul-24	31724	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	75.59
8-Aug-24	337	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	100.00
28-Jul-24	41361032	AUSSIE BROADBAND LIMITED	TELECOMMUNICATIONS SERVICES	3,884.60
26-Aug-24	4204	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	54.00
1-Jul-24	424	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	100.00
1-Jul-24	425	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	20.00
1-Jul-24	429	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	14.00
1-Jul-24	430	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	32.00
1-Jul-24	431	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	18.00
1-Jul-24	432	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	58.00
1-Jul-24	433	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	34.00
1-Jul-24	434	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	100.00
1-Jul-24	435	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	100.00
1-Jul-24	436	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	88.00
1-Jul-24	437	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	10.00
9-Jul-24	438	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	100.00
18-Jul-24	439	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	100.00
18-Jul-24	440	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	70.00
1-Aug-24	727719	SUMMIT AUTO LEASE AUST PTY LTD	VEHICLE LEASING	24,404.10
15-Aug-24	729497	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	17,056.91
21-Aug-24	78	SOMERSET REGIONAL COUNCIL	RECEIPTING & COST REALLOCATIONS	455.00
17-Jul-24	ACC FEES	NATIONAL AUSTRALIA BANK	BANK CHARGES	40.00
15-Aug-24	ACC FEES	NATIONAL AUSTRALIA BANK	BANK CHARGES	40.00
31-Jul-24	BPAY 31.	NATIONAL AUSTRALIA BANK	BANK CHARGES	2,420.08
1-Aug-24	57000052	LEASEPLAN	VEHICLE LEASING	8,444.07
TOTAL PAYMENTS				16,172,688.66

CORPORATE AND COMMUNITY SERVICES

To: Andrew Johnson – Chief Executive Officer
From: Lyn Buchanan – Community Development Coordinator
Director: Daniel Rowe – Director Corporate and Community Services
Date: 28 August 2024
Subject: Formation of Somerset Social Plan Advisory Committee
File Ref: 2024 Somerset Social Plan Advisory Committee
Action Officer: CDC

Background/Summary

Per the Somerset Social Plan Advisory Committee Terms of Reference, Council has called for Expressions of Interest (EOIs) for representation for five committee positions; two from community members, two from interagency members and one from a government department or agency.

EOIs for community representatives were invited from 11 July 2024 to 5pm 26 July 2024. These were promoted through the Council's webpage and notices placed in the Lockyer and Somerset Independent and The Sentinel. Interagency members, which include government and non government entities were advised of the opportunity to participate by email.

Two expressions of interest were received from community members and four from Interagency members, one being from a government department and two being received after time. A summary of the EOIs submitted is provided as a confidential attachment to this report.

A panel reviewed all EOIs and found the following submissions to best reflect the requirements of the roles and responsibilities; Ms Judy-ann Roberts (community representative), Reverend Loretta Tyler-Moss (community representative), John Tracey (West Moreton Health – representative from a government department / agency), Rachelle Williams (CuppaPLUS – interagency representative) and Jayne McKenzie (Somerset Health and Fitness – interagency representative).

It should be noted that the selection of these representatives, does not preclude additional community stakeholders attending the Somerset Social Plan Advisory Committee meeting as observers or guests by way of an invitation. These invitations will be important in progressing specific items within the social plan, as they will bring invaluable insight, due to the diverse nature of themes within the social plan.

Attachments

Nil

Recommendation

THAT Council appoint the following members to the Somerset Social Plan Advisory Committee: Judy-ann Roberts, Loretta Tyler-Moss, Rachelle Williams, Jayne McKenzie, John Tracey.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson – Chief Executive Officer

From: Robyn King – Executive Support Officer

Director: Daniel Rowe - Director Corporate and Community Services

Date: 20 August 2024

Subject: Fernvale Sports Park Advisory Committee Meeting

File Ref: Community Services - Meetings – 2020 – 2024 – Fernvale Sports Park Advisory Committee

Action Officer: DCORP

Background/Summary

The Fernvale Sports Park Advisory Committee meet quarterly to review the operation of the facility. A meeting of the Fernvale Sports Park Advisory Committee was held Wednesday 7 August 2024.

Attachments

Meeting Report Fernvale Sports Park Advisory Committee Wednesday 7 August 2024.

Recommendation

THAT Council receive the meeting report for the quarterly meeting of the Fernvale Sports Park Advisory Committee held Wednesday, 7 August 2024 and the contents be noted.



Meeting Report for Fernvale Sports Park Advisory Committee meeting held Wednesday 7 August 2024

Fernvale Sports Park Meeting Room

*31 Brouff Road
Fernvale QLD 4306*

Present	
Cr Brett Freese (Chair)	Somerset Regional Council
Cr Sally Jess	Somerset Regional Council
Mr Daniel Rowe	Somerset Regional Council – Director of Corporate and Community Services (DCORP)
Mr Andrew Jaremenko	Somerset Regional Council - Sports and Recreation Officer (SRO)
Ms Sandra McFeeters	Somerset Regional Council – Community and Tourism Manager (CTM)
Mr Graham Smith	Brisbane Valley Rattlers Australian Football Club Inc. – President (BVRAFC)
Mr Darren Bunter	Brisbane Valley Rattlers Australian Football Club Inc. – Vice President
Ms Rebecca Edwards	Somerset Storm Netball Club Inc - President (SSNC)
Ms Ashley Cutler	Somerset Storm Netball Club Inc - Secretary
Mr Adrian Ward	Thunder Cricket Club – President (TCC)
Ms Aleesa Lewis	Thunder Cricket Club – Treasurer
Mr David Raine	Fernvale State School – Principal (FSS)

Item 1: Opening of Meeting

The Chair, Cr Brett Freese opened the meeting at 6.05pm.

Item 2: Apologies

Nil.

Item 3: Confirmation of Previous Meeting Report

Report from previous meeting 12 June 2024 circulated and reviewed by all present.
General consensus that the meeting report from 12 June 2024 be accepted.

Item 4: Business arising out of previous meeting reports

Refer to Progress of Actions / Recommendations from Previous Meetings.

Item 5: Financial Report

An overview of the operating expenditure at the facility up to the 30 June 2024 and costs including normal operating expenses were presented.

General consensus that the Fernvale Sports Park financial report up to 30 June 2024 be accepted.

Item 6: General Business

Recent activities:

- Moonlight Markets started last Saturday night. They were well attended and had minimal impact or disruptions to user groups. The facility was left clean and no damages noted. The markets are operated by a not-for-profit organisation and will be of benefit to the community.
- Night Market bookings for one Saturday per month for the next 12 months have been approved via an Event Permit Application and will be reviewed after 12 months.
- Somerset Rail Trail Classic was held 21 July 2024. This was a successful event with 950 participants. Thanks to the stakeholder volunteers for their support.
- Council Community Assistance grants are available in August.
- Stakeholders should collaborate for season changeover of the kiosk and cleaning of amenities etc.

Main oval:

- Watering
 - BVRAFC requested watering of the main oval and stated the oval surface is hard and potentially poses an injury risk to players. They understand that watering of the oval will improve with the installation of the new watering system in 2025.
 - Current watering arrangements come at a significant cost as potable water must be used now and careful consideration is required, though safety is always a priority.
 - BVRAFC to contact Council officers to discuss watering needs.
 - TCC advised watering requirements will differ during the cricket season.
- Field surface
 - BVRAFC requested Council look into temporary measures for filling hollows in the fields where water pools that may lead to play being cancelled.

ACTION: Council to investigate and determine suitability of proposal and look at suggested options e.g. topsoil/sand.

Andrew Jaremenko left the meeting at 6:36pm.

- BVRAFC would like to book the entire FSP facility for the end of season event, 7 September 2024. Application form has been submitted to Council. Other stakeholder clubs noted the proposed booking date.

Stakeholder Maintenance Requests:

- FSS stated the school had recently been treated for fire ants and asked if the FSP has been or is scheduled for treatment.

ACTION: Council to investigate and provide feedback to stakeholders.

- BVRAFC on behalf of other users request installation of baby change table/s.

ACTION: Council to investigate and provide feedback.

- BVRAFC requested installation of hygiene product vending machines in ladies' toilets.
- SSNC stated they manage the supply of feminine hygiene products on a needs basis and are happy to continue this.
- TCC stated they are pursuing grant applications for a mobile site screen and asked if Council approval for the screen would be required.
- A non-permanent screen would not require Council approval and TCC could consider applying under the Community Assistance Grant scheme.
- TCC also noted storage space for the screen when it was not in use would need to be investigated.
- TCC raised that they wish to see lighting installed for the cricket nets.
- Council is yet to scope the works or get quotes. This request has been identified in the Master Plan.
- FSS gave credit to Council on timely repairs to electrical wiring and lighting damaged by vandalism.
- BVRAFC advised they are seeking grant funding for seating around the fields and mobile seating. They encouraged other stakeholders to apply.
- Council may provide in principle support if appropriate approvals are in place.

Item 7: Next meeting scheduled

The next meeting of the Fernvale Sports Park Advisory Committee will be held at 6pm on Wednesday 6 November at the Fernvale Sports Park Meeting Room

Item 10: Closure of Meeting

There being no further business, the Chairperson closed the meeting at 7pm.

Item No.	Progress of Actions / Recommendations from Previous Meetings
Somerset Regional Council	
1.	<p>Oval Irrigation System Install and Field Levelling/Returfing</p> <ul style="list-style-type: none"> Engaged designer to ensure development of tank connection to irrigation system for maximum benefit Council to seek contractors for irrigation, levelling and turf. scope and designs are prepared ready to go to market. Proposed start date July / August 2025 with a 3-4 month timeframe for completion. Queensland Government funding guidelines to be confirmed.
2.	<p>Fernvale Sports Park Master Plan</p> <ul style="list-style-type: none"> Stakeholders to continue discussing options and priorities for future development of the facility.
3.	<p>Fernvale Sports Park Private School Expression of Interest</p> <ul style="list-style-type: none"> Update on tender process. Concerns raised by Fernvale State School regarding project and the communication of it.
4.	<p>Stakeholder Maintenance Requests</p> <ul style="list-style-type: none"> Picket fence modifications <ul style="list-style-type: none"> BVRAFC advised the modifications have not been completed. Council advised work will be completed by mid-August. Council to obtain quote for lighting installation on lighting poles <ul style="list-style-type: none"> Council to install security lights on pump shed. Quotes have been sourced.
Brisbane Valley Rattlers/Somerset Storm Netball Club	
5.	<ul style="list-style-type: none"> Clubs to seek approval from Council to install new PA system including layout of proposed installation Maps and quotes have been received, will be taken further and they should be able to install if approved

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson – Chief Executive Officer

From: Robyn King – Executive Support Officer

Director: Daniel Rowe - Director Corporate and Community Services

Date: 20 August 2024

Subject: Esk Recreation Grounds Advisory Committee Meeting

File Ref: Community Services - Meetings – 2020 – 2024 – Fernvale Recreation Grounds Advisory Committee

Action Officer: DCORP

Background/Summary

The Esk Recreation Grounds Advisory Committee meet quarterly to review the operation of the facility. A meeting of the Committee was held Tuesday, 13 August 2024.

Items of note from the meeting include:

- Alliance Planning attended the meeting and discussed the Showgrounds Network Review.
- Old Esk Railway Station Parkrun Event Director attended the meeting and discussed the regular Parkrun bookings.

Attachments

Meeting Report Esk Recreation Grounds Advisory Committee 13 August 2024.

Recommendation

THAT Council receive the meeting report for the quarterly meeting of the Esk Recreation Grounds Advisory Committee Tuesday, 13 August 2024 and the contents be noted.



Meeting Report for Esk Recreation Grounds Advisory Committee meeting held Tuesday 13 August 2024

*Esk Country Golf Club
Hampton Rd
Esk QLD 4312*

Present	
Cr Helen Brieschke (Chair)	Somerset Regional Council
Cr Brett Freese	Somerset Regional Council
Mr Daniel Rowe	Somerset Regional Council
Mr Ben Drynan	Esk Pastoral Agricultural & Industrial Association Inc
Ms Michele Arnold	Esk Pastoral Agricultural & Industrial Association Inc
Mr Luke Latter	Esk Country Golf Club
Mr Ian Macintyre	Esk Country Golf Club
Mr Paul Clifford	Esk Jockey Club
Mr Jim Kruger	Esk Campdraft Association Inc
Guest	
Ms Sue Anthony-Smith	Old Esk Railway Station Parkrun Event Director
Ms Nicole Zimmerle	Alliance Planning

Item 1: Opening of Meeting

The Chair, Cr Helen Brieschke opened the meeting at 4.10pm.

Item 2: Apologies

Mrs Carmel Lynch
Mr Graeme Lynch

Item 3: Confirmation of Previous Meeting Report

Consensus that the Meeting Report of the Esk Recreation Grounds Advisory Committee Meeting held Thursday, 16 May 2024 as circulated to all Members be confirmed."

Item 4: Business arising out of previous meeting reports

Announcer's stand – replace existing with a more permanent structure in the same location. Jockey Club and Campdraft need to collaborate and make a mutually beneficial decision and then apply for permission from Council.

Item 5: Financial Report

An overview was given of the quarterly income and expenditure of the Esk Showgrounds to 30 June 2024. Consensus that the financial report be received and noted.

Item 6: Correspondence

Nil

Item 7: Booking Calendar

Bookings calendar reviewed. Parkrun events to be added to the bookings calendar in due course.

Item 8: General Business

a. Esk Parkrun implementation

Sue Anthony-Smith described the route of the parkrun and advised marshals and signage will be placed around the route. The organisers anticipate 70-100 participants at the first trial. The event is fully insured and first aid kits and a defibrillator will be on site at each event. Parkrun will not be held when events are scheduled at the Esk Showgrounds. Parkrun participants will be advised of the showground events and will use the alternate route B for those Parkrun events.

The first parkrun trial will be held 7:30am 18 August 2024, the second trial will commence 10am 15 September 2024. First Parkrun event is scheduled for Saturday 21 September 2024.

b. Showgrounds Network Review – Alliance Planning

Discussion regarding long-term plans for showgrounds/racecourses/equine facilities etc. throughout the Region.

Alliance Planning are engaged by council to do network overview of all showgrounds in the region and the needs of the entire region. This involves a strategic view of the showgrounds and other facilities, including privately owned ones, in the region.

Feedback from user groups regarding their highest priorities:

Esk Country Golf Club

- Storage shed off existing machinery shed – golf club are providing funding and have engaged an installer. The proposed structure is consistent with the Masterplan. Approval from Council and Building Approval are requested. Plans to be emailed to Council.
- Club house – leave on the Masterplan to support grant funding application
- Fairway irrigation.

Esk Campdraft Association Inc

- Announcer's stand – replace existing with a more permanent structure in the same location.
- Arena resurfacing, maintenance and aeration – currently temporary treatments are being undertaken; however, long term solutions are required to make the surface suitable for multiple user groups.
- Boundary and cattle ring new fencing required – currently there is concern that cattle can escape, creating a hazard.

Esk Jockey Club

- Tie up stalls for horses – improved and increased number of stalls to accommodate the current number of race meets per year and anticipated increase.
- Grandstands – permanent and portable
- Shade cover for the hill
- Judging box – requires maintenance
- Disability access – for grandstands and amenities and paths around the whole facility needs to improve.

Show society

- Storage – currently Chaille Pavilion is used as storage facility by the Show Society and the Jockey Club. When the show is on it is used for displays and all equipment needs to be removed.

Opportunity for a consolidated, multipurpose building

- Suggestion Bryden Hall would need to remain on site as it is of historical significance, however there may be an opportunity to relocate it within the grounds.
- Advisory Committee representatives provided positive support for this proposal and investigating moving Bryden Hall to facilitate it.

Luke Latter, Esk Country Golf Club, left the meeting at 5:30pm.

c. Esk Jockey Club irrigation system installation

An onsite meeting with Esk Jockey Club and other representatives is scheduled for 10am, 4 September, to review options with electrician.

d. Capital improvement works

Council has applied for funding of \$40,000 via the South East Queensland Community Stimulus Program for the Esk Recreation Grounds. The result will be advised in September 2024. Suggested projects supported by these funds include; security cameras, air conditioning for the dining hall, works to alleviate weather and glare impacts on the bookmaker's area.

Other suggested projects to be considered:

- Replacement of wooden tables and seating around the trees
- Replace doors on bar cold room with glass doors
- Toilets behind where the caravan was previously located requires repair/upgrade for disability access
- Grandstand repairs
- Fencing at the rear of the stalls

ACTION – All representatives to consider their organisation's needs and priorities and provide these at the next meeting.

Item 9: Next meeting scheduled

Next meeting will be held 4pm Tuesday, 12 November 2024 at the Esk Jockey Club, Dining Room.

Item 10: Closure of Meeting

There being no further business, the Chairperson closed the meeting at 5.50pm.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson – Chief Executive Officer

From: Robyn King – Executive Support Officer

Director: Daniel Rowe – Director Corporate and Community Services

Date: 27 August 2024

Subject: Somerset Arts, Culture and Heritage Advisory Committee – Meeting 26 August 2024

File Ref: 2024 – 2028 Somerset Arts Culture and Heritage Advisory Committee

Action Officer: ESO

Background/Summary

The first meeting of the Somerset Arts, Culture and Heritage Advisory Committee (ACHAC) was held Monday, 26 August 2024.

Two RADF applications were presented to the committee for consideration being the Somerset Regional Council for the Brisbane Valley Expo for an amount of \$2,175 and the Toogoolawah and District History Group Inc for the 120 year Celebration Concert for an amount of \$3,145.00.

It should be noted that due to the timeframes of the 120 year Celebration Concert the Chief Executive Officer has approved the application.

Attachments

Meeting Report Arts, Culture and Heritage Advisory Committee - 26 August 2024.

Recommendation

THAT Council:

1. receive the meeting report for the Somerset Arts, Culture and Heritage Advisory Committee 26 August 2024 and the contents be noted.
2. Endorse the Chief Executive Officer actions in approving the Regional Arts Development Fund application from Toogoolawah and District History Group Inc for the 120 Year Celebration Concert for an amount of \$3,145 excluding GST.
3. approve the Regional Arts Development Fund application from Somerset Regional Council for the Brisbane Valley Expo for an amount of \$2,175 excluding GST



Meeting Report of the Arts Culture and Heritage Advisory Committee (ACHAC) held Monday 26 August 2024

*Simeon Lord Room
Esk Library Building*

Present

Cr Kylee Isidro (Chair)	Somerset Regional Council
Cr Helen Brieschke	Somerset Regional Council
Andrew Johnson	Somerset Regional Council
Daniel Rowe	Somerset Regional Council
Caroline Smith	Somerset Regional Council
David Finn	Somerset Regional Council
Madelline Brewer	Somerset Regional Council
Michelle Blair	(Committee Member)
Gail Bawden	(Committee Member)
Gracie-Dawn Lewis	(Committee Member)
Jim Filmer	(Committee Member)
Naomi McKenzie	(Committee Member)
Sandi Hook	(Committee Member)
Vicki Sweedman	(Committee Member)
Chloe-Ann Williamson	(Committee Member)

Item 1: Opening of the Meeting

The meeting was opened by the Chair, Cr Isidro at 1.04 pm.
Cr Isidro thanked Council for facilitating and welcomed all representatives to the committee.

Item 2: Apologies

Cr Jess
Emily Murphy-O'Neill

Item 3: Correspondence

Correspondence presented from Minister for Treaty, Aboriginal and Torres Strait Islander Partnerships, Communities and the Arts confirming \$30,000 RADF funding for the coming year and the evolved RADF model.

Item 4: General business

a. Arts, Culture and Heritage Plan 2023- 2028

Council presented the Arts, Culture and Heritage Plan 2023- 2028 (The Plan):
The Plan was created following community consultation. It provides key outcomes for and guides the strategic development of the Arts, Culture and Heritage in the Somerset region. The plan links back to Council's Corporate Plan and works with the Somerset Tourism Strategy and Economic Development Strategy.

b. Arts, Culture and Heritage Advisory Committee Terms of Reference

The Terms of Reference (TOR) were discussed and representatives advised to raise

any questions at the ACHAC meetings or with Council representatives.
The confidential nature of the meetings, agendas, reports and supporting documents was reiterated.

c. Arts, Culture and Heritage Plan 2023- 2028: May - July progress

Council provided the May – July progress report of The Plan and highlighted some of the actions that Council has been working on in the previous quarter.

d. Somerset Civic Centre – Operational Report

Council presented the Somerset Operational Report. An improvement in attendance numbers has been noted since January 2024. The team have been working on curating the 2024-25 program and venue upgrades are continuing.
The new independent Somerset Civic Centre website is expected to be operating shortly, offering direct event booking and emphasising the multi-purpose functionality of the venue.

e. The Condensery Operational Report

The operational report for The Condensery was presented by Council providing information about the exhibitions and programs featured to date this year. The Healing Garden Exhibition (December 2023 – February 2024) was very successful and the exhibition is now a finalist in the Gallery and Museum Achievement Awards (GAMMA), with the outcome to be announced in October.

f. The Condensery Exhibition Schedule 2025 – 2026

Council presented the proposal for The Condensery Exhibitions 2025 – 2026.

General consensus to support the progress to the proposed exhibition schedule noting a finalised exhibition schedule will return to the committee for final approval.

g. RADF Overview Report

Council provided an overview of the proposed changes to RADF and explained the two available platforms; Community Grants program and Council initiated projects.

An RADF training session is scheduled for all ACHAC representatives on 5 September 2024. Notification of the training session has been sent to all representatives.

RADF Funding Applications submitted for consideration
--

Toogoolawah and District History Group Inc - 120 year Celebration Concert

☒ Stage 2 – Application (Doc Id.)

☐ Letter of offer sent (Doc Id.)

☐ Acquittal statement returned (Doc Id.)

Declaration of Interest - Cr Brieschke advised a conflict of interest in RADF Funding, Applications submitted for consideration (i) 120 year Celebration Concert as she has been assisting the Toogoolawah & District History Group promote the 120 year Celebration Concert.

The application was discussed. It was suggested that future applications include an invoice showing the breakdown of performer payments to ensure they are being paid correctly. The Committee recognised the organiser will also receive income from the event's ticket sales.

General consensus to support the application for an amount of \$3415 being the total project cost less projected ticket sales.

Brisbane Valley History Expo

- ☒ Council Initiated Project (Doc ID)
- ☐ Acquittal statement returned (Doc Id.)

General consensus to support the application for an amount of \$2,175.00

Michelle Blair left the meeting at 3pm.

Item 5: Other business

a. Stakeholder agreements – Somerset Civic Centre (SCC)

Council spoke to a review of stakeholder agreements and memorandum of understandings regarding the use of SCC. It was noted that agreements are not in place for all current user groups and may transition to an *'Artist in Residency Agreement'*. Council will seek expressions of interest from groups and individuals, applications will need to be submitted by the groups and the applications will be reviewed and assessed.

General consensus that Council proceed with a review of current stakeholder agreements and seek expressions of interest for *Artist in Residency Agreements*.

b. Acknowledgment of traditional custodians at all Somerset events.

Council has in place *Protocol CEO 001 Acknowledgement of Traditional Custodians Embracing heritage to incorporate all cultures*. At future ACHAC meetings the "Acknowledgment of Country" will occur at the beginning of the meeting.

c. New bushtucker sign at the Kilcoy Hospital bushtucker garden. (Community involvement KDPA Friends of Jinibara).

Information provided to the ACHAC regarding the replacement of previous sign due to damage and incorrect spelling.

d. Kilcoy Streetscape Project and Acknowledgement of First Nations People in Design

Council officers informed the Committee that this item will be best addressed by the Kilcoy Streetscape Advisory Committee, which is to be considered at the 25 August 2024 Ordinary Council meeting. The ACHAC may be consulted further in the future, but the item is best to be raised initially via the Kilcoy Streetscape forum.

e. Acknowledgement of Traditional Custodian at the Kilcoy Visitor Information Centre

Information provided to the ACHAC regarding a project currently being developed by the KDPA Friends of Jinibara. A discussion took place regarding the potential utilisation of space within the Kilcoy Visitor Information Centre (KVIC) to house a display to be developed by the KDPA Friends of Jinibara.

Council officers informed the Committee that KVIC may be able to facilitate such a display and that such a display may be able to be incorporated into future display projects at the facility. For further consideration, the KDPA would need to submit a request to Council with the written support of the Jinibara People Aboriginal Corporation.

The KDPA Friends of Jinibara may also apply to the Council Community Assistance Grant program for support to undertake the project.

The Committee also discussed the display of Aboriginal and Torres Strait Islander flags at Visitor Information Centres, noting that this would require a regional

approach and alignment to relevant policies.

f. Kilcoy Rail Trail Development

Discussion regarding opportunities to support the development of a Kilcoy Rail Trail and preliminary feasibility undertake by Council.

Item 6: Next meeting scheduled

The next meeting of the Arts, Culture and Heritage Advisory Committee will be held at 1pm on Monday, 25 November 2024.

Item 7: Closure of Meeting

There being no further business, the Chairperson closed the meeting at 3.45pm.

OPERATIONS
SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Debbie Chandler, Customer Service Systems Administrator
Director: Craig Young, Director Operations
Date: 30 August 2024
Subject: Australian Trail Horse Riders Association – Coominya Recreational Oval
(Cricket Ground) - Approval to Camp Overnight on 18 April 2025 for Rail
Trail Event – Yarraman to Fernvale

File Ref: Council properties / usage / 2024-2024 – Council hire agreements and
bookings / 2024-2025 bookings – parks and reserves (1651456)

Action Officer: CSSA

Background/Summary

The Australian Horse Riders Association will be hosting an end to end Rail Trail event that starts in Yarraman on 12 April 2025 and ends at Fernvale on 20 April 2025.

It is expected to have 50-70 riders and horses participating in this event.

The riders will be arriving in Coominya on 18 April 2025 and are planning to have dinner at Coominya Hotel and camp the night in the Coominya recreation reserve.

The group is seeking permission from Council to camp with their horses around the inside perimeter of the recreation reserve as shown on the attached site layout plan. The horses will be placed into individual temporary yards for the night.

This group has camped at the Coominya recreation reserve in previous years during this event with no complaints having been received.

In previous years, Coominya State School have granted permission for them to have access to water and amenities. However, they will also be supplying additional portaloos to be set up within the Coominya Recreation Reserve as per Council's guidelines.

Attachments

Site plan.

Recommendation

THAT Council grants approval to the Australian Horse Riders Association to camp overnight as shown in the attached site plan within the Coominya Recreation Reserve on 18 April 2025 subject to the following:





- The area is to be kept in a clean and tidy state and adequately provide for the collection and disposal of waste generated by the event.
- The area is to be cleaned of any waste and/or material at the time of the removal of the horses and temporary yards from the site and the park is returned to its original condition.
- Only camping vehicles permitted within the recreation reserve and must only drive around the perimeter of the reserve to set up camp.
- Additional toilet facilities must be provided for participants at the Coominya Recreational Grounds as per Council's guidelines below:

	Males			Females	
	WC	Urinals	Hand Basins	WC	Hand Basins
<100	1	2	2	2	2
<200	1	2	2	3	2
<300	1	2	2	4	2
<500	1	2	2	6	2
<1000	2	4	4	9	4
<2000	4	8	6	12	6

- Noise to be kept to a minimum and as such not to cause a nuisance for neighbouring properties.
- The approval holder must provide all necessary equipment and take all practical measures to ensure the safety of the people attending the event.
- The approval holder must ensure that the design and construction of all structures that form part of the activity are safe and appropriate to the nature of the activity proposed and the number of people expected to attend.
- The activity must not detrimentally affect the amenity of the area.
- The approval holder must have public liability insurance in an amount not less than \$20,000,000 to hold this event and it must state that Somerset Regional Council is an interested party. A copy of the current public liability certificate of currency must be provided to Council before the commencement of the event.
- In the event of prevailing wet weather, a joint inspection of the ground conditions is to be conducted with the organiser and a Council officer. Should the ground be deemed unsuitable for the purpose of the event and no other arrangements can be made, the approval will be cancelled.

Coominya Oval

Cnr Cornhill – Rocky Gully Road, Coominya

-  Toilets – number will comply to local standards and will be dependent on final numbers
-  Vehicles / floats will be parked on the outside of the oval \with entry on the school side of the oval and exit via the Rocky Gully Road side of the oval onto Cornhill Street (basically a one way circuit)
-  Horses will be in their own separate yards around inside the oval next to rail fence.
-  Additional school amenities block



SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Debbie Chandler, Customer Service System Administrator
Director: Craig Young, Director Operations
Date: 30 August 2024
Subject: Kilcoy Christmas Tree – Turning on the Lights and Community BBQ – Sunday, 1 December 2024
File Ref: Council properties – usage – 2024-2025 – bookings – parks and reserves (1653517)
Action Officer: CSSA

Background/Summary

An application to hold a community BBQ has been received for turning on the Christmas lights in Yowie Park on Sunday, 1 December 2024 starting at 5.30pm and finishing at 7pm from the Kilcoy District Progress Alliance Inc.

It is estimated to have 60-200 people to attend the event to light the Christmas tree and free community BBQ in Yowie Park, Kilcoy.

This event has been held for the last four years with no complaints being received on the running of this event.

As part of this event, it is planned to erect the 6.5 metres Christmas tree again and to install coloured solar lights on the three BBQ shelters in Yowie Park. Also, the solar lights wrapped around four trees along the front of Yowie Park will be checked to ensure they are fully operational. It is proposed that the Christmas tree and lights will be lit up from 1 December 2024 to 31 January 2025.

Attachments

Nil.

Recommendation

THAT Council, under Council's Local Law No. 1 (Administration) 2001 and Subordinate Local Law No. 1.14 (Undertaking Regulated Activities on Local Government Controlled Areas and Roads) 2011, grant permission to use Yowie Park for the Kilcoy Christmas Tree turning on the light and community BBQ to be held on Sunday, 1 December 2024 subject to the following conditions:

1. The event is to be held between the hours of 5.30pm to 7pm only.
2. The area is to be kept in a clean and tidy state and you are required to adequately provide for the collection and disposal of waste generated by the event.
3. It is noted that the toilet facilities are available. These public toilets are serviced by Council Monday to Friday of each week. Therefore, should these facilities require cleaning or stocking up of supplies during or after your event, you will be required to ensure that these facilities are kept clean and supplied with the necessary stock.
4. Should a temporary shade structure be required, only a standalone marquee (no tent pegs or spikes) is permitted to be used.
5. Noise is to be kept to a minimum and as such not to cause a nuisance for neighbouring properties.

6. All temporary signage for your event must be displayed on private property only and are only to be displayed 14 days prior to the event and all signage must be removed from display one day after the event.
7. The approval holder must ensure that through traffic is not impeded due to this event.
8. There is to be no vehicular access into the park.
9. The approval holder must provide all necessary equipment and take all practical measures to ensure the safety of the people attending the activity.
10. The approval holder must ensure that the design and construction of all structures that form part of the activity are safe and appropriate to the nature of the activity proposed and the number of people expected to attend.
11. The activity must not detrimentally affect the amenity of the area.
12. The approval holder must have public liability insurance in an amount not less than \$20,000,000 to hold this event and it must state that Somerset Regional Council is an interested party. A copy of the public liability certificate of currency must be provided to Council before the commencement of the event.
13. The approval holder is responsible to ensure all operators of activities taking part in this event have current public liability insurance in an amount of not less than \$20,000,000.
14. If food is to be sold at the event for profit, a food business licence must be obtained from Council from all stallholders. Some exemptions do apply for non-profit organisations, please contact Council's Environmental Health Section for further information.
15. In the event of prevailing wet weather, a joint inspection of the ground conditions is to be conducted with the organiser and Council's Parks and Garden Co-ordinator. Should the ground be deemed unsuitable for the purpose of the event and no other arrangements can be made, the event will be cancelled.

Council Assistance

16. Council will provide five community bins to assist with waste.
17. Council will allow access to power and water.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson – Chief Executive Officer
From: Robyn King – Executive Support Officer
Director: Craig Young – Director Operations
Date: 20 August 2024
Subject: Traffic and Safety Advisory Committee – Meeting 15 August 2024
File Ref: 2024 Traffic and Safety Advisory Committee
Action Officer: ESO

Background/Summary

The quarterly meeting of the Traffic and Safety Advisory Committee was held Thursday, 15 August 2024.

Attachments

Meeting Report Traffic and Safety Advisory Committee 15 August 2024.

Recommendation

THAT Council receive the meeting report for the quarterly meeting of the Traffic and Safety Advisory Committee held Thursday, 15 August 2024 and the contents be noted.

**Meeting Report of Traffic and Safety Advisory
Committee Meeting
Thursday, 15 August 2024**

*10.00am
Held via TEAMS*

Present	
Cr Jason Wendt (Chair) *	Somerset Regional Council
Cr Tiara Hurley *	Somerset Regional Council
Andrew Johnson	Somerset Regional Council
Craig Young	Somerset Regional Council, DOPER
Steve Brennan	Somerset Regional Council, MES
James Bromley *	QPS Lowood
John Cumner *	QPS Toogoolawah
Matthew Dean *	QPS Esk
Martin Jones *	TMR
Stuart Gardner *	TMR
Danial Clark *	TMR
Lauren Brunjes - A/Senior Advisor *	TMR Road Safety
M Van Gemeren *	TMR Road Safety

* Denotes – attendance via Teams.

1. Opening of Meeting

The Chair Mayor Wendt opened the meeting at 10.03 am.

2. Apologies

Dimitri Scordalides	TMR
Adam Milne	SEQWater

3. Confirmation of previous meeting report

Consensus that the Meeting Report of the Traffic and Safety Advisory Committee Meeting held 28 May 2024, as circulated to all Members, be confirmed.

4. Business arising from previous meeting reports

Signage near Fernvale school

TMR advised an assessment has recently been undertaken and found the current speed signs to be appropriate.

Council has reviewed and removed unauthorised advertising signs in the area to reduce driver confusion.

Illegal camping Twin Bridges and Geoff Fisher Bridge Fernvale

Council recently reviewed and updated camping signage in these areas. Council's Regulatory Services Team will be visiting the sites to determine if people are overstaying and will reach out to QPS for assistance.

QPS will support Council wherever they can in moving people on as required.

QPS advised they have noted extended camping in areas where Council has signage.

5. Standing items

Hooning

Update from QPS regarding operations addressing hooning activities in the region
QPS advised officers throughout the region are working together to address hooning activities with a lot of work going on in the background to address the issues and disrupt hooning activities including regular, targeted patrols in known hooning hotspots.
QPS requested assistance encouraging members of the public to report hooning activities to the Hooning Hotline, Policelink or local Police, providing locations, days/ dates and times, trends, vehicle descriptions etc. Police are also reviewing social media with the intention of using this information to take future action.

ACTION – DOPER Council to promote public reporting of hooning activities to Police via the Hooning Hotline, Policelink or local Police.

6. General business

Brisbane Valley Highway (BVH)

Council has advocated for additional funding for the BVH while attending the 2024 National General Assembly of Local Government (NGA) in Canberra in July. Discussions were held with Minister for Infrastructure, Catherine King (MP) and Minister for Regional Development, Kristy McBain (MP). Council is taking a strong stance and has an application submitted for additional funding through the SEQ City Deal.

Speed signs Esk

QPS questioned speed signs along Middle Street Esk near the Mary Street intersection. The speed sign for vehicles travelling inbound is 50km while outbound is 60km.

Council will take on notice and investigate.

TMR requested to investigate and provide photos.

ACTION – DOPER Council to provide photos to TMR. TMR to review and provide information to Council.

Wildlife signage

At Council's Ordinary meeting 14 August 2024 Council discussed koala activities and conservation in the region. It was noted that TMR have assisted Toogoolawah Wildlife Carers with Wildlife signage previously.

TMR Environmental Team will do an assessment when a request is received and if they deem signage is required, they will contact the relevant TMR delivery team who will organise the installation. Timing of installation is dependent on assessment timeframe by TMR Environmental Team, the delivery team will attempt to schedule installation with other works in the vicinity. It is unlikely signage will be installed this breeding season. Unauthorised signage is not permitted.

BVH roadworks, Fernvale

Council requested update on progress of the road works on BVH, Fernvale

ACTION: TMR will request the TMR Delivery Team to contact Council to advise of progress.

7. Next meeting

The next Traffic and Safety Advisory Committee Meeting will be held at 10am, 14 November 2024 at Simeon Lord Room, Esk Library Building, 19 Heap Street, ESK.

8. Closure of meeting

There being no further business, Chairperson, Mayor Wendt closed the meeting at 10:26m.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Debbie Chandler, Customer Service System Administrator
Director: Craig Young, Director Operations
Date: 2 September 2024
Subject: Operations Report for August 2024
File Ref: Governance – Reporting – Officer Reports
Action Officer: CSSA (Debbie Chandler)

Background/Summary

Details of the Operations report for the month of August 2024 are as follows:

Engineering Services Team

The Engineering Services Design Team continues design delivery for the 2023-2024 design program and commenced on design delivery for the 2024-2025 design program.

The team is progressing with the designs and investigations for the following projects:

- Station Street Carpark, Lowood; and
- Railway Street Carpark, Lowood

The team is bringing together information required for the Cycle Network Local Government Grants 2025 -26 program, with proposed submissions to include:

- Causeway upgrade on Brisbane Valley Rail Trail at Ferny Gully;
- Principle cycle network connection from Kilcoy to Brisbane Valley Rail Trail;
- Russell Road to Tarampa footpath upgrade.

The team also continued work with external consultants to progress designs for the projects below:

- Lowood Minden Road road widening – Projex Partners;
- Muckerts - McCulkins Lane upgrade – Engeny; and
- Lester Kropp Bridge replacement - Hatch.

These external design projects will be managed throughout the remainder of 2024, with delivery of all to the end of 2024.

The team continues to provide engineering support to the works department on several projects such as:

- Brown Street, Kilcoy;
- Graham Road, Fernvale;
- Main Street, Lowood; and
- Kilcoy Landfill.

The Engineering Services Team provided engineering development advice to the Planning Department and assessment and applicant response to Operational Work applications.

This team again notes the current major developments currently “On Maintenance” and due to come “Off Maintenance” within the next 12 months:

- Parklands at Clarendon - Stages 2D and 2E– On Maintenance;
- Pine Tree Hill, Kilcoy - Stages 3 to 6 – Off Maintenance inspection carried out 28 August 2024;
- Windsor Drive, Mount Hallen - Stage 5C – On Maintenance;

- Hedley Park, Kilcoy - Stage 8 – On Maintenance.

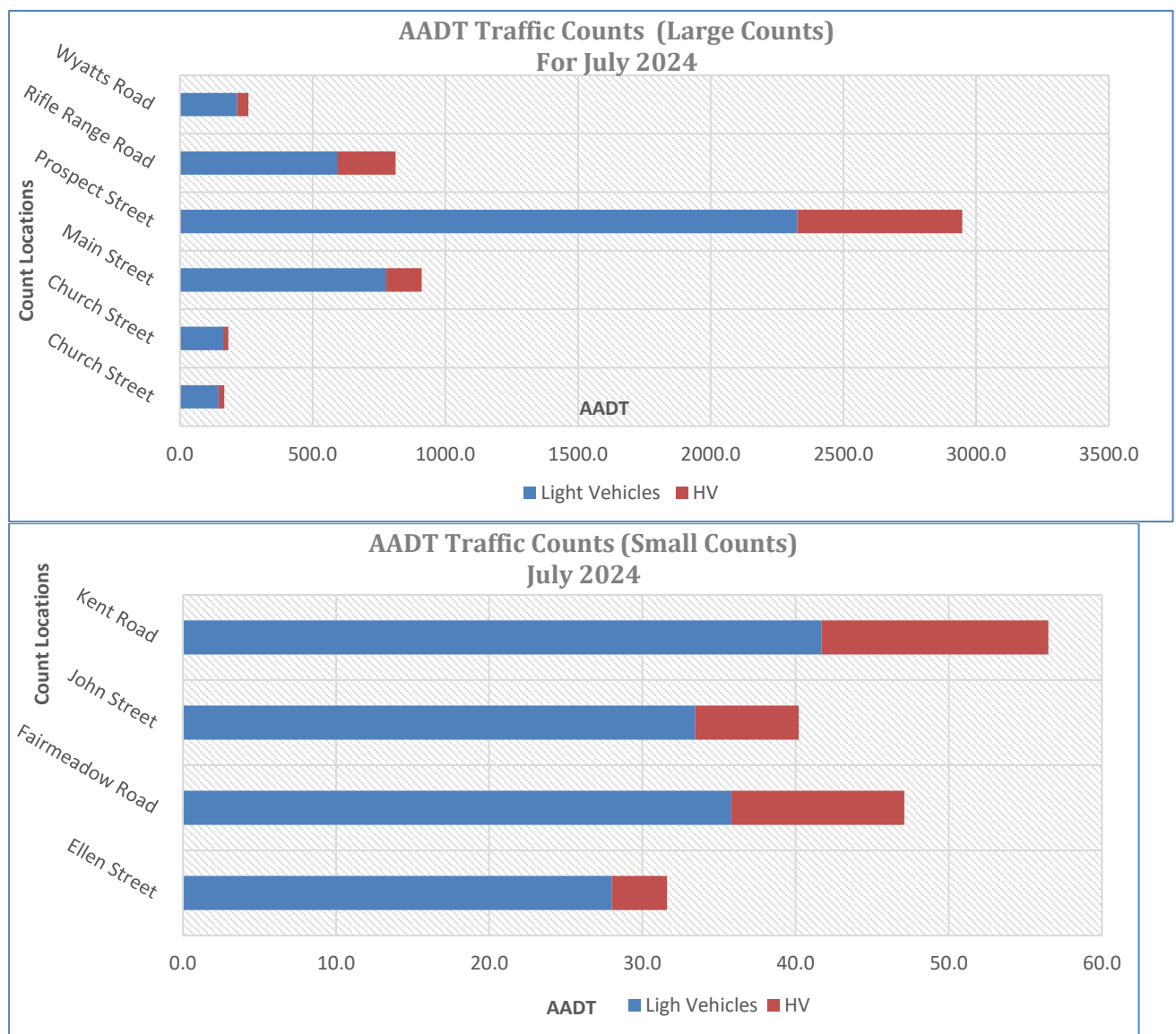
The Engineering Services Parks and Facilities Team continues to oversee operations in the parks and facilities areas.

The Engineering Services Team continue to set out traffic counters within the region and provide continual assessment of Council infrastructure to ensure our information remains current within our asset and GIS systems, as well as overseeing works within road reserve applications, property access applications and heavy vehicle permits.

Permit	Aug-24	Aug-23
Land Access Permit	40	47
Property Access Applications	17	34
National Heavy Vehicle Regulator Permits Processed	8	20

The Engineering Services Team have continued inspections of council road assets and updated asset system to ensure council record are current.

Traffic counters have been set out within the region and are being collected routinely following a standard three-week rotation.









Works Team











Projects Commenced in August:



Project Name	Description	Contractors
Brown Street, Kilcoy	Provision of turnaround area for the rubbish trucks and larger vehicles. Also kerb and channel on houses side of road.	Internal Council Crews
Ivory Creek Road, Toogoolawah	Widening of Ivory Creek Road between Edward Street and Littles Road. (2.6km) CN1374	External - Brown Contractors
Lowood Minden Road	Zabels Road North to Millewski Road - Pavement rehabilitation and widening.	External - A&M Civil
Main Street, Lowood	New K&C and pavement along Main Street from police station to Reservoir Road. Stage 2 extension of stormwater down Bauer Road	Internal Council Crews
Mountain View Drive	CN 1364 Landslip	External - Silverstrand Developments

Projects Completed in August:

Project Name	Description	Budget	Time	Notes
REPA CN1315 Kilcoy Region	Flood restoration works on drainage structures and unsealed roads (CPM)			REPA funded project
England Creek Road	England Creek - pipe and drainage work. (A&M Civil)			Under Budget by \$44k
Litzows Road, Lowood	Seal section at end of road, turnaround area – asphalt overlay, (Council crews)			Ahead of time and under budget by \$100k

Capital Projects underway:

Project Name & Description	%Complete on the ground	Estimated Completion date	Status Time	Status Budget
Kilcoy Transfer Station - capping of landfill and reconstruction of transfer station.	90%	25-Sep-24		
Esk Crows Nest Road - Strategic Regional Connector - Toowoomba Boundary section.	95%	30-Sep-24		
Brown Street, Kilcoy - turnaround area and kerb & channel.	50%	27-Sep-24		
Ivory Creek Road - Widening of Ivory Creek Road between Edward Street and Littles Road. Contractor: Browns.	5%	28-Feb-25		
Lowood Minden Road - Zabels Road North to Millewski Road, Pavement rehabilitation and widening. Contractor: A&M Civil.	5%	06-Dec-24		

Main Street, Lowood - New K&C and Pavement along Main Street; Stage 2 extension of stormwater down Bauer Street.	1%	28-Feb-25		
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Photographs of Capital Projects underway:

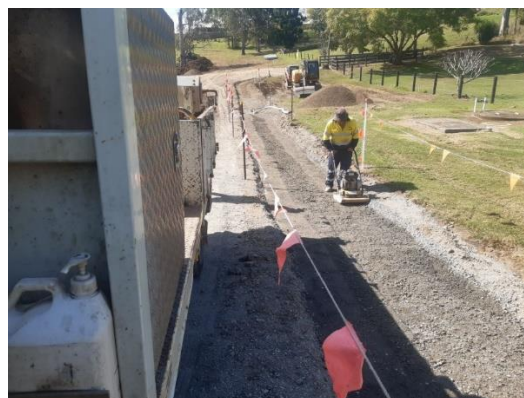
Kilcoy Transfer Station reconstruction –



Esk Crows Nest Road -



Brown Street, Kilcoy –



Lowood Minden Road (Zabels Rd North to Millewski Rd) –



REPA / QRA Projects Underway:

- REPA CN1313 Jimna / Monsildale Region. Flood restoration works on unsealed roads (CPM);
- REPA CN1326 Coominya / Esk Region. Flood restoration works on drainage structures (A&M Civil);
- REPA CN1330 Scrub Creek. Bridge project, Brisbane River crossing (*Silverstrand Developments*);
- REPA CN1336 Fernvale / Marburg Region. Flood restoration works on sealed roads (A&M Civil);
- REPA CN1361 Coominya Region, Sealed Pavements (A&M Civil);
- REPA CN 1334 Flood restoration works on drainage structures – Package no 5 (A&M Civil);
- REPA CN 1337 Flood restoration works on sealed pavements, Lowood, Minden, Mt Tarampa (*Durack Civil*);
- REPA CN 1355 Flood restoration works - Kilcoy Region Sealed Pavements (CPM);
- REPA CN 1352 Harlin and Moore Region Sealed Pavements (A&M Civil);
- REPA CN 1350 Drainage Package No.8 Mt Kilcoy Rd & Wunulla Lane (A&M Civil);

Ongoing projects:

- Mowing and slashing works on Council roads;
- Crews continue to respond and complete CSR's;
- General maintenance of Council's civil infrastructure.

Department of Transport and Main Roads (TMR) Works

Council is presently working on the following projects on behalf of TMR:

- Repairing potholes throughout the TMR network;
- Slashing grass on road shoulders and manage vegetation;

- Repairing signs and guideposts and upgrade guide signs;
- Chemical herbicide spot spraying;
- Guardrail repairs;
- After hours callouts.

Council continues to advocate for increased maintenance funds to service the state-controlled road under the Road Maintenance Performance Contract.

REPA Works

A total of 69 submissions have been lodged with QRA for Reconstruction of Essential Public Assets. The categories for the submissions are Unsealed Roads, Sealed Roads, Drainage, and Individual Sites (e.g., bridges and landslips). All submissions have been assessed and approved. The submissions have been bulked up into 46 packages. The assistance by the Queensland Reconstruction Authority (QRA) is acknowledged.

Drainage packages are progressively being documented to enable calling of quotations. This will be followed by Sealed Roads packages and Individual Sites.

All works are required to be completed by the end of June 2024 and while Council is working towards this end, we are keeping the Queensland Reconstruction Authority informed of our progress, especially the more complex individual sites e.g. Scrub Creek Road bridge betterment project.

Summary	No.	Percentage
Total SRC Package (works done by SRC)	6	13%
Total External Package (Contract works by contractors)	40	87%
Total No. of Package	46	
Awarded Construction Status		
Not Started	3	7%
0-50% Completed	11	24%
50 - <100% Completion	5	11%
Completed	27	59%
Acquittal Status (Submissions not Contracts)		
At Acquittal	20	29%
Outstanding	49	71%

Flood Restoration Expenditure

	FY22	FY23	FY24	FY25	TOTAL
TOTAL	\$4,312,179	\$7,141,230	\$37,470,325	\$4,783,877	\$53,707,611

Workshop – Mechanical

- Completed repairs, services, and scheduled maintenance of Council fleet;
- One light fleet vehicle has had panel damage repaired this month. Damage was caused by a tree branch that fell onto the roof causing minor damage;
- Quarterly trailer inspections are under way for all Council and SES trailers;
- Workshop has fabricated mounting brackets for Fire Ant bait spreader to be fitted to ATV and other 4wd vehicles as well as the electrical wiring to operate the spreader;
- Workshop has started to carry out COI (certificate of inspections) on our small truck which are required annually. These will be completed over the next month.

Workshop – Fabrication

- Welding bay has been carrying out various repairs to Council fleet as well as repairs to other various Council assets around the region, such as handrail, park furniture, etc.;
- Welding bay has also fabricated and installed a handrail on a new culvert at Fernvale across from the Sports Park;
- Welding bay has repaired a damaged section of handrail at Vernor on the BVRT;
- Carried out various repairs on some playground equipment in Lowood;
- Carried out various small jobs at Kilcoy Landfill as part of the upgrade, such as repair handrail on existing dump point to make it safe until it is removed; cut down steel structure on the side of a shipping container;
- Assist Construction and Maintenance South crew to remove an old cattle grid from Banks Creek Road by cutting up the old grid.

Weather Outlook

August saw some rain throughout the whole region, with falls between 20-65mm, the higher levels mainly to the North of our region.

Longer range outlook (September to November):

- Rainfall is likely (60 to 80% chance) to be above average for most of eastern Australia. The chance of above average rainfall has increased over much of eastern Australia.
- There is an increased chance of unusually high rainfall¹ for parts of eastern Australia, including southern Qld. Unusually high rainfall is that in the highest 20% of observations for September to November from 1981 to 2018.
- Above average maximum and minimum temperatures are likely to very likely (60% to greater than 80% chance) across most of Australia.
- The Bureau's model indicates sea surface temperatures in the tropical Pacific may briefly touch on La Nina thresholds in spring. Of the remaining 6 models surveyed, 3 indicate neutral ENSO conditions to continue, and 3 indicate a transition to La Nina from October.

For current outlooks, visit the Bureau of Meteorology site at www.bom.gov.au/climate/outlooks/#/overview/summary

Disaster Management

The following activities were conducted in August 2024:.

- Somerset LDMG meeting held on the 20 August 2024.
- Exercise "Smokey Dale", facilitated by QPS was held immediately following the August LDMG meeting. The scenario was aimed at a fire with potential to impact the township of Esk.
- Attended a QPS Disaster Planning Masterclass in Toowoomba, along with Director of Operations and Manager Engineering Services.
- Council has submitted a funding application to replace the Bureau of Meteorology's Enviromon system. This system provides gauge data to Council's internal flood monitoring systems. The bureau has advised that the Enviromon system will be unsupported from February 2025.
- Discussed flood warning infrastructure with CleanCo regard Split Yard Creek and the possible installation of flood warning sirens.
- The Australian Warning System (AWS) team were introduced to Somerset via a stakeholder presentation, and during the debrief of the 2023/2024 storm season.
- Met with QPS / Emergency Management Coordinators to discuss new arrangements moving forward. Somerset will be being assisted by EMCs from the Southwest until a new EMC for Ipswich District is appointed.
- WaterRide has released a BETA version of the updated flood certificate system for Council to review. These upgrades were at the request of Council and funded under QRAs Flood Risk Management Program. Since going live in September 2022, Council's Flood Certificate System has generated over 5,600 flood certificates.

- Council disaster management team received shirts provided with GetReady funding
- Council has a new QRA Regional Liaison Officer (RLO).
- Council attended and presented at the SEQ Disaster management Engagement Group on the topic of Council's journey with WaterRide and Flood Forecasting.
- SRC staff attended West Moreton Area Fire Management Group meeting.
- Council (SRC) have been working with the Queensland Reconstruction Authority (QRA) to develop a Local Resilience Action Plan (LRAP). This plan will help with aligning any future funding programs to resilience activities proposed by SRC.
- Flood gates have been installed at the following locations:
 - Twin Bridges, Fernvale;
 - Savages Crossing, Fernvale;
 - Burtons Bridge, Borallon; and
 - Walshes Crossing, Kilcoy

Activations/Operations:

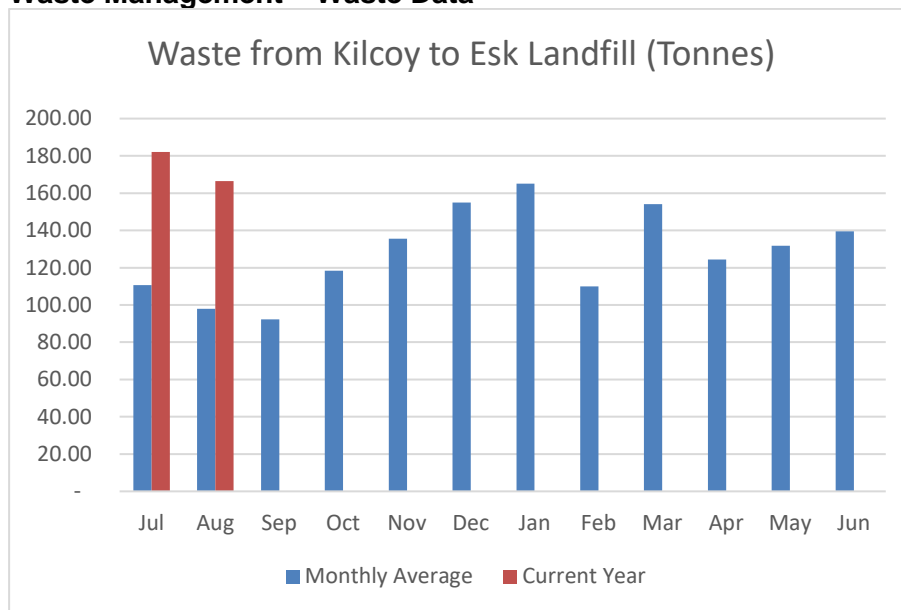
N/A

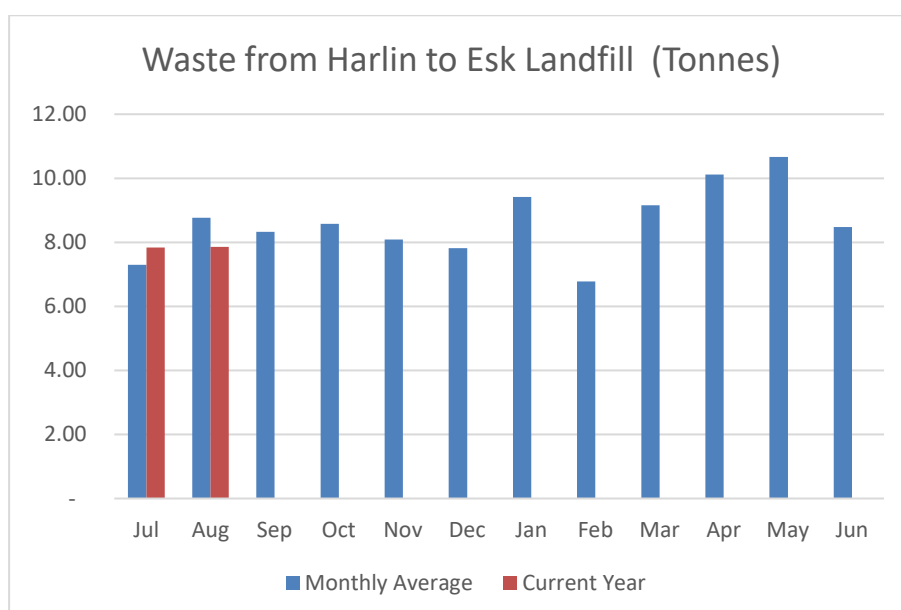
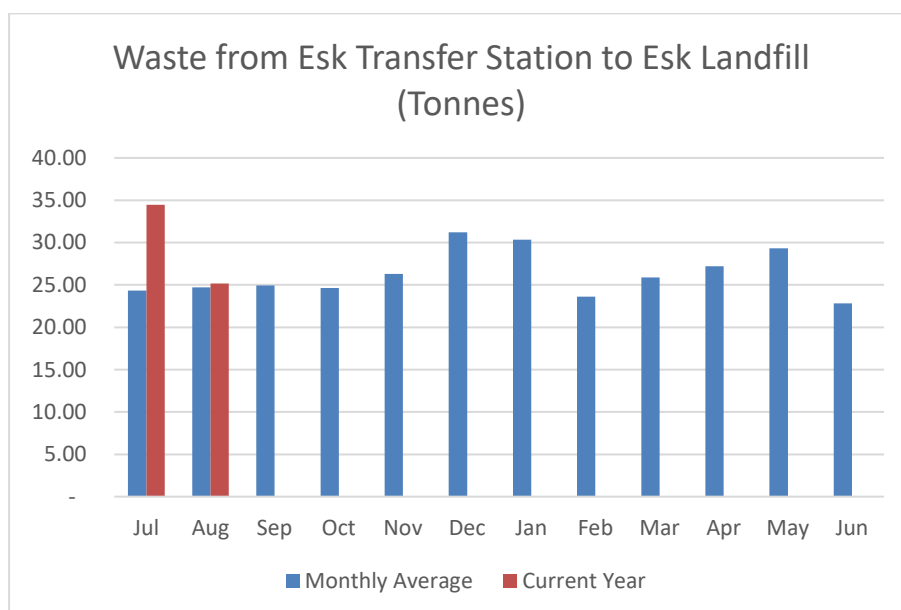
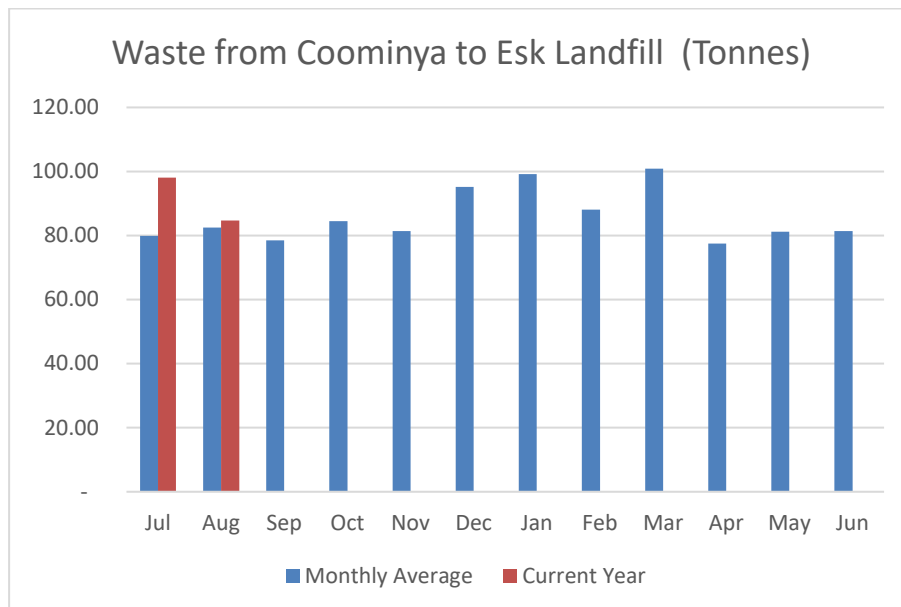
Waste Management

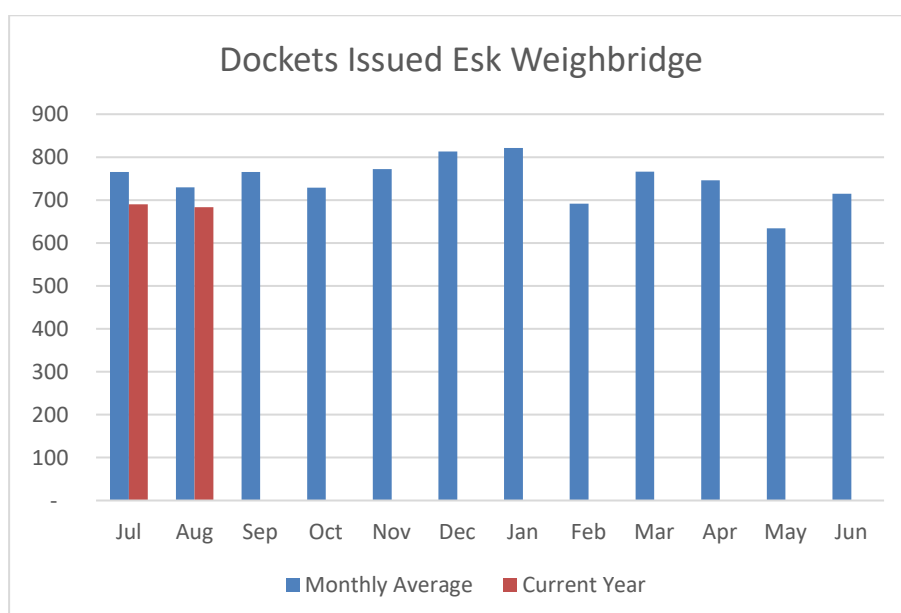
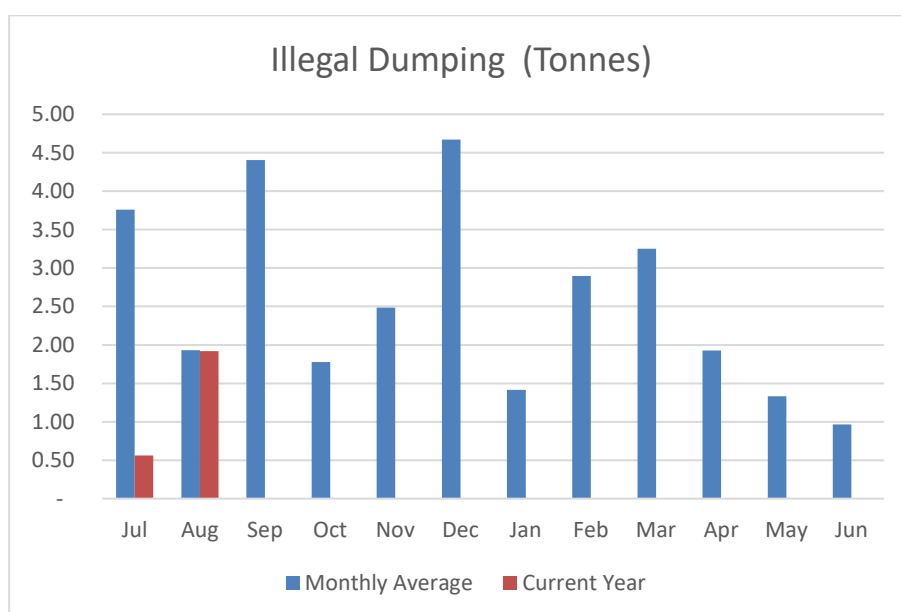
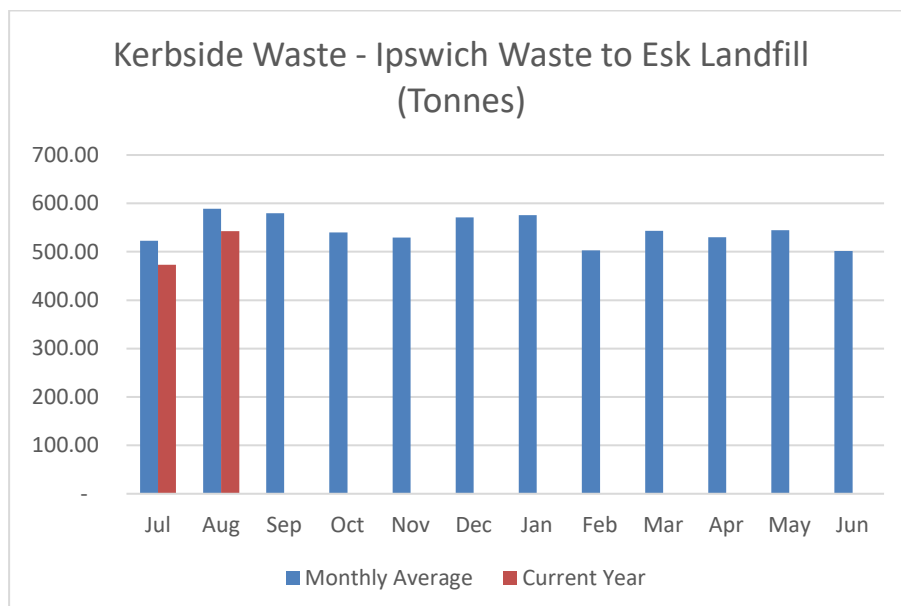
Kerbside Collection Contract – Ipswich Waste

Information on the kerbside collection contract from Ipswich Waste was not available for the month of August 2024 at the time of the report being compiled. Information will be presented in next month's report.

Waste Management – Waste Data







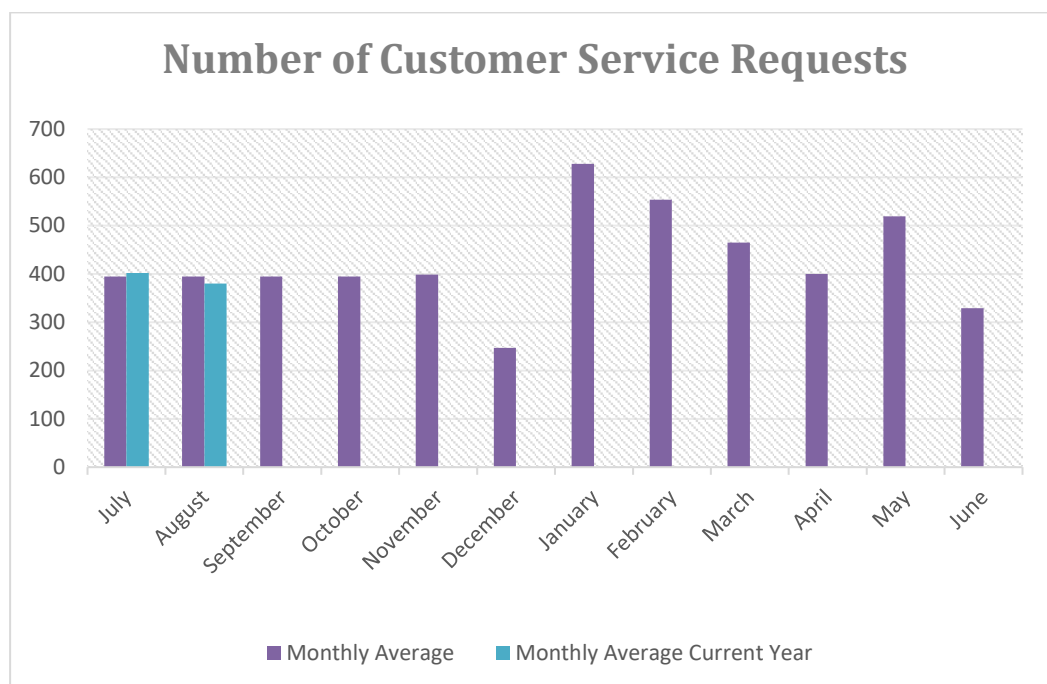
Approved Park/Community Events

Fernvale Country Markes – Saturday, 24 August – Fernvale Memorial Park.

Lowood and District Community Kindergarten Annual Fete – Saturday, 24 August - Clock Park, Lowood.

Customer Service Requests

Council received 372 customer service requests, and 8 customer requests received from Councillors for the month of August 2024 on Council's corporate customer service system. A copy of the report is attached for your information.



	Jul-24	Aug-24
Cemeteries	2	0
Disaster Management	0	0
Departmental reviews	1	3
Fences on roadways	0	0
Illegal dumping clean ups	6	5
Overgrown Council land	0	2

Parks including mowing, cleaning/maintenance park equipment including public toilets, tables and chairs, shade shelters etc.	5	11
Roads - bitumen	28	34
Roads - gravel	13	13
Roads - drainage	10	7
Roads - culverts	0	2
Roads - vegetation	16	17
Roads - footpaths	4	5
Roads - linemarking	2	0
Roads - bridgework	0	0
Roads - traffic furniture	13	23
Rural Property Number	5	4
Stormwater issues within private properties	0	1
Waste management	0	0
Wheelie bins	0	0
Cancellation of extra services	7	12
Damaged lids and wheels	15	15
Replacement Split Bins	34	20
New Services	22	13
Extra services	10	9
Stolen/Non Delivery of New Bins	21	6
Missed services	5	4
Contractor requests/complaints	3	4
Facilities	0	0
Air conditioning	0	1
Carpentry, painting, tiling & flooring	9	2
Electrical	14	3
Equipment, furniture & fixtures	4	4
Grounds maintenance	2	4
Pest Control	0	0
Plumbing	20	15
Roofing and guttering	3	0
Security, locks & CCTV	4	1
Signage	1	0
Vandalism	8	0
Cleaning	3	1
	290	241

Attachments

Recommendation

THAT Council receive the Operations monthly report for August 2024 and the contents be noted.

**CHIEF EXECUTIVE OFFICER
SOMERSET REGIONAL COUNCIL - Officer's Report**

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024 -2025 – Brisbane Valley Pony and Hack Club Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1649280
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 05205-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,700.28
Total cost of project:	\$1,700.28
Amount recommended to be granted:	\$1,700.28

Assessor's Summary

Brisbane Valley Pony and Hack Club Inc. has requested remission of Council rates payable at property located at 23 Huntley Road, Ottaba Qld 4313 and described as PTC L174 / SP268013 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$850.14
1 January 2025 to 30 June 2025	\$850.14
Total	\$1,700.28

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,700.28 be granted as rates remission for assessment 05205-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Returned and Services League of Australia Esk Sub Branch Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1655443
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 00439-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,469.48
Total cost of project:	\$1,469.48
Amount recommended to be granted:	\$1,469.48

Assessor's Summary

Returned and Services League of Australia Esk Sub Branch Inc. has requested remission of Council rates payable at property located at 187 Ipswich Street, Esk Qld 4312 and described as PTC L1 RP20861 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$734.74
1 January 2025 to 30 June 2025	\$734.74
Total	\$1,469.48

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,469.48 be granted as rates remission for assessment 00439-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Folk Art Co-operative
Society Ltd
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1658630
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 01023-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,171.22
Total cost of project:	\$1,171.22
Amount recommended to be granted:	\$1,171.22

Assessor's Summary

Folk Art Co-operative Society Ltd has requested remission of Council rates payable at property located at 8 Railway Street, Lowood Qld 4311 and described as PTC L9 SP251952 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$585.61
1 January 2025 to 30 June 2025	\$585.61
Total	\$1,171.22

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,171.22 be granted as rates remission for assessment 01023-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Glamorgan Vale Tennis Club Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1659247
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 34821-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,469.48
Total cost of project:	\$1,469.48
Amount recommended to be granted:	\$1,469.48

Assessor's Summary

Glamorgan Vale Tennis Club Inc. has requested remission of Council rates payable at property located at 702 Glamorgan Vale Road, Glamorgan Vale, Qld 4306 and described as PTC L1 RP165529 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$734.74
1 January 2025 to 30 June 2025	\$734.74
Total	\$1,469.48

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,469.48 be granted as rates remission for assessment 34821-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Hopetoun Masonic Lodge
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1657163
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 80098-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$2,328.62
Total cost of project:	\$2,328.62
Amount recommended to be granted:	\$2,328.62

Assessor's Summary

Hopetoun Masonic Lodge has requested remission of Council rates payable at property located at 62 Kennedy Street, Kilcoy Qld 4515 and described as PTC L1 RP92224 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$1,164.31
1 January 2025 to 30 June 2025	\$1,164.31
Total	\$2,328.62

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$2,328.62 be granted as rates remission for assessment 80098-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Linville Progress Association Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1657595
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 00947-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,681.78
Total cost of project:	\$1,681.78
Amount recommended to be granted:	\$1,681.78

Assessor's Summary

Linville Progress Association Inc. has requested remission of Council rates payable at property located at 40 George Street, Linville 4314 and described as PTC L7 RP15015 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$840.89
1 January 2025 to 30 June 2025	\$840.89
Total	\$1,681.78

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,681.78 be granted as rates remission for assessment 00947-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Lions Camp Duckadang
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1658194
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 05521-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,469.48
Total cost of project:	\$1,469.48
Amount recommended to be granted:	\$1,469.48

Assessor's Summary

Lions Camp Duckadang has requested remission of Council rates payable at property located at 117 Avoca Creek Road, Avoca Vale, Qld 4314 and described as PTC L1 RP144325 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$734.74
1 January 2025 to 30 June 2025	\$734.74
Total	\$1,469.48

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,469.48 be granted as rates remission for assessment 05521-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Lowood and District
Memorial Bowls Club Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1658530
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 01154-10000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,303.96
Total cost of project:	\$1,303.96
Amount recommended to be granted:	\$1,303.96

Assessor's Summary

Lowood and District Memorial Bowls Club Inc. has requested remission of Council rates payable at property located at 157 Main Street, Lowood Qld 4311 and described as PTC L96 CC3505 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$651.98
1 January 2025 to 30 June 2025	\$651.98
Total	\$1,303.96

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,303.96 be granted as rates remission for assessment 01154-10000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Lowood Masonic Lodge
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1657852
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 01403-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,469.48
Total cost of project:	\$1,469.48
Amount recommended to be granted:	\$1,469.48

Assessor's Summary

Lowood Masonic Lodge has requested remission of Council rates payable at property located at 17 Church Street, Lowood Qld 4311 and described as PTC L1 RP55551 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$734.74
1 January 2025 to 30 June 2025	\$734.74
Total	\$1,469.48

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,469.48 be granted as rates remission for assessment 01403-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Moore Soldiers Memorial Hall Association Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1657831
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 01568-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,469.48
Total cost of project:	\$1,469.48
Amount recommended to be granted:	\$1,469.48

Assessor's Summary

Moore Soldiers Memorial Hall Association Inc. has requested remission of Council rates payable at property located at 9-11 Main Street North, Moore 4314 and described as PTC L321 M5621 and L2 RP4209 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$734.74
1 January 2025 to 30 June 2025	\$734.74
Total	\$1,469.48

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,469.48 be granted as rates remission for assessment 01568-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – St John Biarra Masonic Lodge
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1650923
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 00651-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,663.30
Total cost of project:	\$1,663.30
Amount recommended to be granted:	\$1,663.30

Assessor's Summary

St John Biarra Masonic Lodge has requested remission of Council rates payable at property located at 33-35 Highland Street, Esk 4312 and described as PTC L2 SP200666 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$831.65
1 January 2025 to 30 June 2025	\$831.65
Total	\$1,663.30

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,663.30 be granted as rates remission for assessment 00651-00000-000 through the Community Assistance Grants budget allocation.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 3 September 2024
Subject: Community Assistance Grants 2024-2025 – Returned and Services
League of Australia Toogoolawah Sub Branch Inc.
File Ref: Community Relations – Sponsorships – Donations - Doc Id 1648351
Action Officer: ESO - KG

Background/Summary

Rates remission assessment 02024-00000-000 for period 01-07-2024 to 30-06-2025:

General rates for period 01-07-2024 to 30-06-2025	\$1,469.48
Total cost of project:	\$1,469.48
Amount recommended to be granted:	\$1,469.48

Assessor's Summary

Returned and Services League of Australia Toogoolawah Sub Branch Inc. has requested remission of Council rates payable at property located at 33 Cairnscroft Street, Toogoolawah Qld 4313 and described as PTC L19 RP7722 for the period 01-07-2024 to 30-06-2025.

Net balance of general rates as at 1 July 2024 for the period (early payment discount applied):

Net rates figure for period:

1 July 2024 to 31 December 2024	\$734.74
1 January 2025 to 30 June 2025	\$734.74
Total	\$1,469.48

As per Council's Community Assistance Grant Policy C/001 applications will not be considered for the payment of insurance premiums, water supply and sewerage accounts from Queensland Urban Utilities, other utility accounts such as electricity and telecommunications or the following charges levied with Council general rates:

- Utility charges;
- Separate rates and charges;
- Special rates and charges; and
- State Government Emergency Levy.

The abovementioned charges levied with Council rates are not included in Councils rates remission and will require payment.

Attachments

Nil

Recommendation

THAT the application as summarised in this report be approved for funding and \$1,469.48 be granted as rates remission for assessment 02024-00000-000 through the Community Assistance Grants budget allocation.