

AGENDA ORDINARY COUNCIL MEETING

Date: Wednesday, 26 February 2025

Time: 9am

Venue: *Simeon Lord Room
Esk Library Building
19 Heap Street
Esk*

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PLANNING

SOMERSET REGIONAL COUNCIL - OFFICER'S REPORT

To: Andrew Johnson, Chief Executive Officer
From: Mark Westaway, Senior Planner
Director: Luke Hannan, Director of Planning and Development
Date: 18 February 2025
Subject: Development Application No. 25207 – Hedley Drive, Woolmar
Development Application for a Development Permit for Reconfiguration a
Lot by Subdivision (one lot into 38 lots)
File No: DA25207 Action Officer: SP-MW
Assessment No: 81416-20000-000

1.0 APPLICATION SUMMARY

Property details

Location: Hedley Drive, Woolmar
Real property description: Lot 914 SP339564
Site area: 42.62ha
Current land use: Vacant land – balance of Hedley Park Estate
Easements/encumbrances: Nil identified

South East Queensland Regional Plan

Land use category: Urban footprint

Planning scheme details

Planning scheme: Somerset Region Planning Scheme (Version 4.2)
Zone: General residential zone
Precinct: Not within a precinct
Overlays: OM3 Biodiversity overlay
OM4 Bushfire hazard overlay
OM5 Catchment management overlay
OM7 Flood hazard overlay
OM8 High impact activities management area overlay

Application details

Proposal: Reconfiguring a Lot by Subdivision (one lot into 38 lots)
Category of assessment: Code assessment
Applicant details: QM Prop Co No.3 Pty Ltd
c/- Saunders Havill Group
9 Thompson Street
BOWEN HILLS QLD 4006
Owner details: QM Prop Co No.3 Pty Ltd
Date application received: 24 July 2024
Date application properly made: 24 July 2024

Referrals None required

Public notification Not required

RECOMMENDED DECISION

Approve the development application subject to the development conditions and requirements contained in the schedules and attachments of this report.

Excluding the intersections with Hedley Drive, Road A ultimately proposes three “T” intersections along its length. Two of the intersections are proposed within the current Stage 11, while the third intersection has already been constructed as a part of Stage 8.

The development also includes the extension of a pathway that was initially approved in Stage 10.

The subject lot, Lot 914 SP339564, has an area of 42.62 hectares, however the previously approved Stage 9 covers 3.796 hectares of the site and the previously approved Stage 10 covers 3.44 hectares of the site. The balance lot left over after these stages are developed will have an area of 29.041 hectares.

3.0 SITE DETAILS

3.1 Description of the land

The site is an irregularly shaped allotment with frontages to Hedley Drive and Highwood Lane. The subject lot was created as a balance lot of earlier stages of the previously approved subdivision. Lot 912 to the south has also been a balance lot for previous stages of the Hedley Park Estate.

The site is currently vacant, lots to the east are part of earlier stages of the Hedley Park Estate and are also within the General residential zone and are being progressively / typically improved with dwelling houses and associated buildings and structures.

The western section of the site contains a ridgeline that runs generally north south through the site, before turning southeast in proximity to the D'Aguilar Highway.

Proposed Stage 11 predominantly slopes to the east toward the existing drainage line to the northeast of Hedley Drive. The southern end of the stage reaches the top of the ridgeline that runs generally north south through the western part of the site.

3.2 Access

Access to the site will be via an extension to Hedley Drive. Hedley Drive is included on Council's Local Government Infrastructure Plan as trunk infrastructure.

While the site has frontage to Highwood Lane, Highwood Lane only has frontage to the balance lot. The areas to be developed as part of Stage 11 does not adjoin other roads.

3.2 Site approval history

The approvals for the more recent stages include:

Reference:	Decision date:	Description:
Reconfiguration of a Lot		
DA23398	2 January 2024 (Council)	Hedley Park – Stages 9 and 10
DA21871	5 May 2022 (Council) 19 April 2023 (Negotiated decision - Council)	Hedley Park – Stage 8
Operational Works		
Hedley Park - Stage 8		
DA22950	31 October 2022 (Council's delegate)	Operational Works (associated with a subdivision)
DA23125	9 January 2023 (Council's delegate)	Electrical reticulation and street lighting
Hedley Park - Stage 9		
DA24715	18 June 2024 (Council's delegate)	Bulk Earthworks and Civil works
DA24881	17 May 2024 (Council's delegate)	Electrical reticulation and street lighting
Hedley Park - Stage 10		

DA24715	18 June 2024 (Council's delegate)	Bulk Earthworks
DA24723	18 June 2024 (Council's delegate)	Civil works
DA24977	5 June 2024 (Council's delegate)	Electricity Reticulation and Street Lighting
Hedley Park - Stages 9 and 10		
DA25012	15 July 2024 (Council's delegate)	Landscape and Stormwater Basin

3.3 Connection to electricity and telecommunications

The land is within the General residential zone, and as such the recommended development conditions require the development to connect to the reticulated electricity and telecommunications networks in line with the planning scheme requirements.

4.0 PLANNING LEGISLATION

The application will be assessed against the matters set out in section 45 and decided in accordance with section 60 of the *Planning Act 2016*.

5.0 ASSESSMENT BENCHMARKS

The proposal requires assessment against the following assessment benchmarks.

5.1 State Planning Policy 2017

The State Planning Policy 2017 (SPP) came into effect on 3 July 2017 and is not identified as being reflected in the Somerset Region Planning Scheme. The application requires an assessment against the assessment benchmarks contained within Part E, and Council must have regard to each of the State Interests within the SPP, to the extent relevant to the application.

The application has been assessed against the assessment benchmarks and relevant state interests and the proposal is considered to comply (to the extent relevant).

5.2 South East Queensland Regional Plan

The site is located within the Urban footprint. The application has been assessed against the provisions of the regional plan and the associated regulatory requirements and was considered to comply.

5.3 Schedule 10 of the *Planning Regulation 2017*

Schedule 10 of the *Planning Regulation 2017* establishes assessment triggers, requirements, and assessment benchmarks. No Council assessment of the development against an assessment benchmark from the Regulation was required. Where a referral agency undertakes an assessment against a matter as required by the Regulation, this is discussed in section 6.0 of this report.

The proposal:

- (a) does not impact on any regulated vegetation;
- (b) does not impact on any koala habitat areas;
- (c) is not located within a koala priority area;
- (d) is not located in proximity to a Queensland heritage place or local heritage place;
- (e) is not known to be on a contaminated land or environmental management register;
- (f) does not involve any environmentally relevant activities.

5.3.1 Schedule 12A – Reconfiguring a lot

The proposal involves the subdivision of land involving new road in the General residential zone, and under the provisions of schedule 10, part 14, requires assessment against the assessment benchmarks within Schedule 12A of the regulation.

In September 2020, the State Government introduced provisions for walkable neighbourhoods. These include street trees at 15 metre intervals, paved footpaths for all residential streets, street block sizes, and proximity to parks.

The proposal complies with the assessment benchmark of the Planning Regulation 2017, Schedule 12A. The development will be conditioned with respect to street trees and landscaping, and provision of footpaths.

5.4 Temporary local planning instruments

There are currently no temporary local planning instruments in effect within the Somerset Region.

5.5 Variation approvals

The property is not benefitted by any variation approvals.

5.6 Somerset Region Planning Scheme (Version 4.2)

5.6.1 Relevant assessment benchmarks from the planning scheme

The following are the relevant sections of the planning scheme for the assessment of this application:

- (a) 7.2.4 Bushfire hazard overlay code;
- (b) 7.2.5 Catchment management overlay code;
- (c) 8.3.4 Reconfiguring a lot code;
- (d) 8.3.5 Services works and infrastructure code; and
- (e) 8.3.6 Transport access and parking code.

The above relevant sections may be supported by additional information contained within the balance of the planning scheme.

The site is mapped within OM003 Biodiversity overlay – Koala conservation. This map, and the provisions of the overlay code, have been superseded by new requirements within the *Planning Regulation 2017*, and as such the planning scheme provisions for koalas are taken to be of no effect.

Additionally, the site is mapped within the OM008 High impact activities management area overlay. As the use is not a high impact activity, as defined in the planning scheme, the overlay code does not apply.

5.6.2 Strategic framework assessment

An assessment against the strategic framework was not required as this development application was subject to code assessment.

5.6.3 Code compliance summary

The assessment below identifies how the development proposal achieves the relevant assessment benchmarks from the planning scheme (other than the strategic framework) and the proposal seeks an alternative outcome:

- (a) to the identified acceptable outcomes satisfying or not satisfying the corresponding performance outcomes; or
- (b) where no acceptable outcome is stated in the code and the proposed outcome does not satisfy the performance outcome.

Relevant code	Compliance with overall outcomes	Performance outcomes
Reconfiguring a lot code	Yes	PO1, PO11
Services works and infrastructure code	Yes	No alternative outcomes proposed
Transport access and parking code	Yes	No alternative outcomes proposed
Relevant overlay code	Compliance with overall outcomes	Performance outcomes
Bushfire hazard overlay code	Yes	No alternative outcomes proposed

Catchment management overlay code	Yes	No alternative outcomes proposed
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The assessment of the development proposal against the performance outcomes of the applicable code(s) is discussed below.

5.6.4 Performance outcome assessment

Reconfiguring a Lot code

In the General residential zone, minimum lot sizes and frontages are set out in Table 8.3.4.3.B of the planning scheme. The table below has evaluated the lot size and frontage requirements with respect to a general residential type of development.

The development consists of the following lots.

Lot	Lot size (m ²)	Exceeding 600m ²	Frontage (m)	Exceeding 18m
251	800	Y	20.7	Y
252	800	Y	20.7	Y
253	800	Y	20.7	Y
254	806	Y	20.5	Y
255	800	Y	20.0	Y
256	937	Y	29.7 + 17.6	Y
257	603	Y	14.7	N
258	804	Y	19.6	Y
259	804	Y	19.6	Y
260	804	Y	19.6	Y
261	804	Y	19.6	Y
262	804	Y	19.6	Y
263	804	Y	19.6	Y
264	804	Y	19.6	Y
265	804	Y	19.6	Y
266	894	Y	28.9	Y
267	909	Y	30.7	Y
268	632	Y	15.8	Y
269	633	Y	15.8	Y
270	632	Y	15.8	Y
271	800	Y	20.0	Y
272	968	Y	27.1	Y
273	929	Y	16.8	N
274	905	Y	17.6	N
275	890	Y	17.2	N
276	702	Y	13.0	N
277	874	Y	10.5 + 29.4	Y
278	786	Y	29.4 + 8.4	Y
279	804	Y	19.6	Y
280	804	Y	19.6	Y
281	804	Y	19.6	Y
282	603	Y	14.7	N
283	603	Y	14.7	N
284	804	Y	19.6	Y
285	804	Y	19.6	Y
286	603	Y	14.7	N
287	1001	Y	5.5 + 34.7	Y
914	29.041ha	n/a	n/a	n/a

Performance outcome	Acceptable outcome
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Lot size and subdivision design	
<p>PO1</p> <p><i>Lot size and dimensions:</i></p> <ul style="list-style-type: none"> (a) provide sufficient area for the siting and construction of buildings and structures; (b) provide for safe vehicular and pedestrian access; (c) respond appropriately to site characteristics including slope of the land and topography; and (d) are consistent with the intended character of the zone. 	<p>AO1.1</p> <p>The minimum <i>lot</i> size and dimensions complies with Table 8.3.4.3.B– Minimum Lot Size and Dimensions.</p> <p>AO1.2</p> <p><i>Lots</i> in the General residential zone, Rural residential zone and Emerging community zone have an average slope of less than 12.5 percent.</p>
<p>Proposal</p> <p>Minimum frontage is 18m. Seven of the 37 residential lots proposed do not meet the minimum frontage, with the minimum frontage being 14.7m. These lots provide sufficient space for a dwelling house and have been provided for diversity of product to the estate.</p> <p>Performance Outcome Assessment</p> <p>The proposed development has been designed generally in accordance with the minimum lot sizes and minimum lot frontages of typical residential development. All of the lots exceed 600m².</p> <p><i>Lot frontage</i></p> <p>In terms of road frontage, the advice whether the lot frontage is compliant is based on the 18m frontage length for a general residential lot. The proposed lots are generally longer than a standard lot, meaning that narrower lots in this development still exceed 600m² despite their narrower frontage.</p> <p>It is considered that the proposed lot size is capable of facilitating future residential development and as such, it is recommended that the alternative outcome be accepted in this instance.</p>	
<p>PO11</p> <p>Access to existing or future public transport services is provided where practicable and reasonably necessary having regard to the location of the <i>site</i> and access to public transport.</p>	<p>AO11</p> <p>All lots are located within 500 metres (radial distance) of an existing or potential public transport route.</p>
<p>Proposal</p> <p>Access hasn't been provided to public transport services as it is not practicable given the location on the estate.</p> <p>Performance Outcome Assessment</p> <p>The proposed development is located on the existing urban fringe of Woolmar. Due to the nature of the area, there is limited public transport facilities.</p> <p>The site is within proximity to a bus route that travels between Kilcoy and towns further to the west, however there are no local bus stops.</p> <p>It is recommended that the alternative outcome be accepted in this instance.</p>	

5.6.5 Overall outcome assessment

The proposal is considered to comply with all the relevant performance outcomes. As such, a detailed assessment of the overall outcomes was not required.

5.7 Local government infrastructure plan

5.7.1 Priority infrastructure area

The development land is located within the priority infrastructure area as shown in the Local government infrastructure plan mapping.

5.7.2 Infrastructure charges

The proposed development is for a subdivision, which adopts a charge consistent with a three or more-bedroom dwelling under the *Somerset Regional Council Charges Resolution (No. 1) 2024*. The land is within Charge Area A for determining the relevant adopted charges.

The draft infrastructure charges notice is attached and identifies how the levied charge for the relevant local government networks have been worked out as required by the *Planning Act 2016*.

5.7.3 Trunk infrastructure requirements

5.7.3.1 Drinking water and wastewater networks

The site is located within the connections area or future connections area for both the drinking water and wastewater networks as shown in Urban Utilities' Netserv Plan. The recommended conditions require the development to connect to both networks to the satisfaction of Urban Utilities.

Infrastructure charges for the drinking water and wastewater networks (where applicable) are managed by Urban Utilities separately from this development application.

5.7.3.2 Stormwater network

Stormwater as a result of the development is not anticipated to result in an adverse impact on Council's trunk stormwater network infrastructure, and no additional trunk infrastructure has been identified as being necessary to deliver the development.

Standard development conditions are recommended to ensure no actionable nuisances occur and discharge to a lawful point of discharge is achieved, as required by the Queensland Urban Drainage Manual (QUDM).

An adopted charge for the stormwater network applies.

5.7.3.3 Public parks and community land network

The proposal is not considered to result in an unreasonable impact on Council's trunk public park and community land network infrastructure, and no trunk infrastructure has been identified as being required to support the development.

An adopted charge for the public parks and community land network applies.

5.7.3.4 Transport network

The proposal is not anticipated to result in an adverse impact on Council's trunk transport network infrastructure.

The proposed lots in Stage 11 gain access from Hedley Drive, which is a Collector Street in Council's road hierarchy.

Hedley Drive is designated on Council's Local Government Infrastructure Plan as a trunk collector road. Should the application be approved, a condition has been included requiring the construction of Hedley Drive in accordance with section 128 of the *Planning Act 2016*.

Pathways are proposed as a part of this development. An extension to an existing pathway between approved Lots 239 and 240 is located between proposed Lots 264 and 265. The pathway accesses the road in Stage 11 opposite a "T" intersection.

An adopted charge for the transport network applies.

6.0 REFERRAL

6.1 Referral agencies

In accordance with the *Planning Regulation 2017*, there are no referral agencies applicable for this application.

6.2 Third party advice

Council sought third-party advice from SARA for matters relating to the scale of the development. While the development contained 40 lots, being less than the 50 lot threshold in Schedule 20 of the *Planning Regulation 2017*, the creation of Stage 11 of the Hedley Park Estate results in a cumulative total of 280 lots within the estate.

SARA responded advising they had no comment to make on the proposal.

7.0 PUBLIC NOTIFICATION

As the application is subject to code assessment, public notification was not required.

No comments or submissions were received.

8.0 OTHER RELEVANT MATTERS

There are no other relevant matters applicable for code assessment.

9.0 CONCLUSION

The proposed development is for reconfiguring a lot by way of subdivision for one lot into 38 lot subdivision. The proposal has demonstrated compliance with the relevant assessment benchmarks as outlined in this assessment.

Having undertaken the assessment, and considered the relevant matters identified within the report, the officer's recommendation is to approve the application.

10.0 ATTACHMENT

1. Proposal plans
2. Engineering services report
3. Stormwater management plan
4. Draft infrastructure charges notice

RECOMMENDATION

THAT Council:

1. approve Development Application No. 25207 for a Development Permit for a Reconfiguration of a Lot by Subdivision (one lot into 38 lots) on land situated at Hedley Drive, Woolmar, formally described as Lot 914 SP339564, subject to the recommended conditions and requirements contained in the schedules and attachments to this report.
2. publish the officer's report for this application to Council's website as the statement of reasons in accordance with section 63(5) of the *Planning Act 2016*.

SCHEDULE 1 – GENERAL CONDITIONS		
<i>Assessment Manager</i>		
No	Condition	Timing
1.1	Carry out the development generally in accordance with the material contained in the development application, supporting documentation and the plan(s) listed below, except where amended by these conditions of approval.	At all times.
	Staging Plan – Stage 11, prepared by Saunders Havill Group, Reference 10703 P 05 Rev M-STG11, dated 14 January 2025	

	Staging Plan – Staging Overall, prepared by Saunders Havill Group, Reference 10703 P 05 Rev M–CP01, dated 14 January 2025	
	Engineering Services Report, Hedley Park Stage 11, prepared by Inertia – Job Reference 9896-11, dated 24 July 2024	
	Stormwater Management Plan, Hedley Park Estate, prepared by Inertia – Job Reference 9896, dated 17 July 2024	
1.2	Comply with the relevant provisions of the Somerset Region Planning Scheme (Version Four), Planning Scheme Policies and Local Laws.	At all times.
1.3	A Licensed Surveyor must install new Survey Marks in their correct positions in accordance with the Survey Plan and the endorsement of the work must be certified in writing.	Prior to request for endorsement of the Plan of Subdivision.
1.4	Pay to Council any outstanding rates or charges or expenses that are a charge over the subject land levied by Council; and/or levied but not fully paid over the subject land.	Prior to request for endorsement of the Plan of Subdivision.
1.5	Pay to Council the applicable amount at the time of request for plan of subdivision endorsement for the issue of new valuations by the Department of Resources. Currently, the amount is set at \$47 per allotment.	Prior to request for endorsement of the Plan of Subdivision.
1.6	Provide certification from a Licenced Surveyor that all services (e.g. water, drainage, electricity, telecommunications) are wholly contained within the lot that they serve.	Prior to request for endorsement of the Plan of Subdivision.
1.7	Remove any services made redundant as a result of the development and reinstate the land.	Prior to request for endorsement of the Plan of Subdivision.
SCHEDULE 2 – ENGINEERING		
<i>Assessment Manager</i>		
No	Condition	Timing
	GENERAL	
2.1	Make an Operational Work application to Council and pay the required fees where an application involves earthworks, erosion and sediment control, roadworks, car parks, landscaping, clearing and stormwater drainage required as stated in the following conditions.	Prior to the commencement of Operational Work.
2.2	All works are to be designed and constructed in accordance with the requirements of the <i>Somerset Region Planning Scheme</i> .	At all times.
2.3	Bear the costs of works carried out to Council and utility services infrastructure and assets, including any alterations and repairs resulting from compliance with these conditions.	At all times.
2.4	It is required that the design and construction of civil components of the Operational Work are to be certified by a	Prior to Compliance Assessment.

	Registered Professional Engineer Queensland (RPEQ), including: (a) Plans and specifications must be prepared and certified with the Operational Work application. (b) Certification that the works have been undertaken in accordance with the approved plans, specifications and to Council's requirements.	
	OPEN SPACE/PARK/LANDSCAPING	
2.5	Plant street trees at 15 metre intervals along both sides of each street. <i>Note: It is recommended the trees are located in a staggered arrangement along the street so they are not directly opposite one another.</i>	Prior to Council's endorsement of the Plan of subdivision.
	GENERAL SERVICES	
2.6	Submit development applications to the relevant Energy and Telecommunications regulatory authority to either obtain design layout plans or certification letters to Council that any existing infrastructure or wayleaves are to their satisfaction and that they can provide services when required at the cost of a normal house connection.	Prior to Council's endorsement of the Plan of subdivision.
2.7	Connect the development to a reticulated water supply, sewer infrastructure, underground electricity supply, and telecommunications utilities in accordance with acceptable standards of the relevant regulatory authority so that it is available to each allotment.	Prior to Council's endorsement of the Plan of subdivision.
2.8	The applicant must provide written evidence (e.g. connection certificate) from each particular service provider stating either that each lot has been connected to applicable service, is available at a standard connection, or has a current supply agreement.	Prior to Council's endorsement of the Plan of subdivision.
2.9	Install hydrant and valve location indicators and where serviced by kerb and channel, place brass markers in the kerb line at each service crossing. (Water, Sewer, Electricity and telecommunications)	Prior to Council's endorsement of the Plan of subdivision.
	EARTHWORKS	
2.10	All earthworks to be constructed in accordance with AS3798. Fill material is to be placed, compacted, and tested by a suitably qualified inspection and testing organisation.	At all times.
2.11	Rehabilitation of dam sites, including methods of construction, management and supervision is to ensure that the site will be suitable for the proposed use. Test results as required, and a certificate of quality and uniformity is to be provided by a Registered Professional Engineer Queensland (RPEQ).	Prior to Council's endorsement of the Plan of subdivision.
2.12	Contaminated material must not be used as fill on the site. Any filling must be undertaken using inert materials only.	At all times.

2.13	Any fill, cut and other stored material must be contained within properties comprising the development application. Fill cannot be placed on adjacent properties without providing Council with written permission from the respective property owner(s).	At all times.
2.14	The toe of any fill batter and the top of any cut batter is to be a minimum 300mm clear of the boundary line of an adjoining property in accordance with <i>Somerset Region Planning Scheme</i> .	At all times.
	ROADWORKS	
2.15	Dedicate, design and construct all new roads as illustrated on the approved plans, with concrete kerb and channel (including drainage and associated works) in accordance with <i>Somerset Region Planning Scheme</i> .	As part of Operational Works
2.16	Road reserve and carriageway widths to be in accordance with the <i>Somerset Region Planning Scheme</i> .	Prior to Council's endorsement of the Plan of subdivision
2.17	Hedley Drive is identified in Council's Local Government Infrastructure Plan (LGIP) as a trunk collector road. Hedley Drive shall be constructed to a trunk collector road standard. <i>Note: This condition is imposed pursuant to Section 128 of the Planning Act 2016</i>	As part of Operational Works application.
2.18	Provide three chord truncations each 6-metres in length (3 x 6m) on all property boundaries at all road intersections. Remove all improvements and obstructions from the area of the corner truncation(s) and area of dedicated road.	Prior to Council's endorsement of the Plan of subdivision
2.19	Provide a sealed vehicle turn around area with a minimum 9metre radius at the end of any terminating roads that are to be constructed as part of a future stage of development.	Prior to Council's endorsement of the Plan of subdivision for each stage.
	STREET NAMES	
2.20	Submit a list of road names for all new roads, along with the reasons for selecting such names, for the road names to be considered and approved by Council. The proponent is responsible for the cost of road signs and installation. Street nameplates are to comply with Council's standards.	As part of Operational Works application.
	FOOTPATHS AND DRIVEWAYS	
2.21	Provide a concrete footpath with a minimum width of 1.5 metres, for the full frontage of the site of the development in accordance with the <i>Planning (Walkable Neighbourhoods) Amendment Regulation 2020 Subordinate Legislation 2020 No. 162</i> made under the <i>Planning Act 2016</i> .	As part of Operational Works.

2.22	Provide a concrete footpath with a width of 1.5 metres for the full length of the pathway between proposed Lots 264 and 265.	As part of Operational Works.
	STREET LIGHTING	
2.23	<p>Install street lighting in accordance with AS1158 – <i>Code of Practices for Public Lighting</i> as follows:</p> <ul style="list-style-type: none"> i) Local streets and minor collectors (1 to 50 lots) – Lighting Category P5 ii) Collector Roads – Lighting Category P4. <p>Install all street lighting on the same side as footpaths, where applicable.</p> <p>Obtain certification of street lighting installation by a Registered Professional Engineer Queensland (RPEQ).</p>	As part of Operational Works application.
	VEHICLE ACCESS	
2.24	All construction vehicles shall enter and leave the site in a forward gear	At all times.
2.25	All vehicular access for new allotments shall provide convenient and safe access and egress from the site in accordance with <i>Planning Scheme Policy 4 – Design Standards</i> .	At all times.
2.26	The landowner is responsible for construction and maintenance of vehicular access for the property, from the road carriageway to property boundary in accordance with Council's Policy and Standards. Approval is to be sought from Council and the landowner must advise all potential purchasers accordingly.	At all times.
	EASEMENTS	
2.27	<p>Provide an easement over stormwater and inter-allotment drainage located within private property.</p> <p>The easement widths may vary but must extend to include the flood paths for the Q100 flood flows including provisions for freeboard and provide suitable means of access for machinery around headwalls and steep batters to enable maintenance operations to occur without encroachment onto private property and are to be in accordance with Queensland Urban Drainage Manual (QUDM). The easement is to be dedicated at no cost to Council.</p> <p>All easement documentation shall be prepared by the proponent in a form satisfactory to Council's Solicitor.</p> <p>Note: Easements required for the discharge of stormwater over adjacent properties must be agreed to in writing by the owner of the property.</p>	Prior to Council's endorsement of the Plan of subdivision.
	STORMWATER	
2.28	Ensure Stormwater drainage is delivered to a lawful point of discharge	At all times.

2.29	Stormwater drainage and flows are to have no increase in peak discharge immediately downstream of this development for a selected range of storm durations, and a selected range of AEP's up to the defined flood event.	At all times.
2.30	Stormwater drainage and flows are to have no actionable nuisance effect on adjoining, upstream, or downstream landholders.	At all times.
2.31	Stormwater drainage and flows are to have no increase in flood levels on adjoining land that may damage or adversely effect the value or potential use of the land.	At all times.
2.32	Design and construction of all stormwater drainage works must comply with the relevant section/s of the Queensland Urban Drainage Manual (QUDM) and the <i>Somerset Region Planning Scheme</i> .	As part of Operational Works.
2.33	Stormwater Drainage shall be constructed in general accordance with Inertia, Site Based Stormwater Management Plan, Ref 9896 and dated 17 th July 2024.	As part of Operational Works.
2.34	Attenuate the difference between pre and post developed flows.	As part of Operational Works.
2.35	Where stormwater cannot be discharged to the kerb and channel, provide inter-allotment drainage in accordance with Queensland Urban Drainage Manual (QUDM) and <i>Somerset Region Planning Scheme</i> .	As part of Operational Works.
2.36	Submit permission for the discharge of stormwater drainage to a lawful point of discharge from the owners of properties affected by any stormwater discharge from the site. <i>Note: Such consent may require supporting engineering plans and calculations.</i>	As part of Operational Works.
2.37	Adjoining properties and roadways to the development are to be protected from ponding or nuisance from stormwater as a result of any site works undertaken as part of the proposed development.	Prior to Council's endorsement of the Plan of subdivision.
2.38	Containments or contaminated water must not be directly or indirectly released from the Premises to surface water or groundwater at or outside the premises except for: (a) uncontaminated overland stormwater flow; or (b) uncontaminated stormwater to the stormwater system.	At all times.
EROSION AND SEDIMENT CONTROL		
2.39	Erosion and sedimentation controls shall be implemented, as necessary, and shall be maintained to Council's satisfaction at all times during the course of the project. Should Council determine that proposed controls are ineffective or a downstream drainage system has become silted, the developer will: • Be required to install additional measures.	At all times.

	<ul style="list-style-type: none"> Be responsible for the restoration work. <p>Should the developer fail to complete the works determined by Council within the specified time, the Council will complete the work and recover all costs from the developer associated with the work.</p>	
2.40	Measures shall be applied to prevent site vehicles tracking sediment and other pollutants onto adjoining streets during the course of the project, and to prevent dust nuisance.	At all times.
2.41	Prepare an Erosion and Sediment Control Plan designed by a Registered Professional Engineer Queensland (RPEQ) Implement all relevant sediment and erosion control measures and temporary fencing as identified on the approved engineering drawings as part of the operational works. All sediment control devices and sediment collection points shall be regularly monitored, sediment removed as necessary and devices maintained responsibly during construction and maintenance period of the development works.	As part of the lodgement of the Operational Works application.
2.42	All wastes to be managed in accordance with the relevant legislation and regulations with regulated waste to be disposed of at a licensed facility and general solid waste to be disposed of at approved landfill sites with the contractor covering all costs incurred for the receipt and management of the waste.	At all times.
2.43	<p>Where vegetation is removed, the vegetation waste shall be disposed of by:</p> <ul style="list-style-type: none"> i) Milling; ii) Chipping and/or mulching iii) Disposal at an approved waste disposal facility. <p>No incineration of vegetation or waste will be permitted at the site. Waste other than vegetation waste, generated as a result of the operations shall be disposed of to an approved disposal facility.</p>	At all times
2.44	All declared weeds and pests are to be removed from the subject land and kept clear of such nuisance varieties during the course of operations.	At all times.
2.45	Apart from declared weeds and pests, areas with trees, shrubs and landscaping currently existing on the subject land must be retained where possible and action taken to minimise disturbance during construction work.	As part of Operational Works.
SCHEDULE 3 – ADVICE		
<i>Assessment Manager</i>		
This approval has effect in accordance with the provisions of section 71 of the <i>Planning Act 2016</i> . [A copy of section 71 will be enclosed with the Decision Notice]		
Currency Period - Pursuant to section 85 of the <i>Planning Act 2016</i> the approval will lapse if the plan of subdivision is not provided to the local government within the 'currency period' – being four (4) years starting the day the approval takes effect.		

The applicant may make representations (change representations) about a matter in this development application within the applicant's appeal period under the process established in chapter 3, part 5, subdivision 1 of the *Planning Act 2016*.

The *Planning Act 2016* provides for a person to make a change to this development application outside the applicant's appeal period, following the process outlined in chapter 3, part 5, subdivision 2 of the Act.

This development approval is for the proposed development only. Any additional uses/structures, if triggers assessable development, may require their own planning approval and will be assessed on its own merits.

Biosecurity Queensland should be notified on 13 25 23 of proposed development(s) occurring in the Fire Ant Restricted Area before earthworks commence. It should be noted that works involving movements of soil associated with earthworks may be subject to movement controls and failure to obtain necessary approvals from Biosecurity Queensland is an offence.

It is a legal obligation to report any sighting or suspicion of fire ants within 24 hours to Biosecurity Queensland on 13 25 23.

The Fire Ant Restricted Area as well as general information can be viewed on the DAF website www.daf.qld.gov.au/fireants

All works shall be carried out in accordance with the *Workplace, Health and Safety Act (as amended)* and the *workplace Health and Safety Regulation (as amended)*.

Upon receiving the certification by a RPEQ, and submission and approval of as constructed drawings and documentation, Council will accept the works as "On Maintenance".

Council will bond the developer for an amount equal to 5% of the operational works and the Developer is required to maintain all works for a period of 12 months for civil works and 18 months for landscaping (maintenance period) from the date of "On Maintenance". Any defective works must be rectified within the maintenance period.

At the end of the maintenance period the works shall be inspected and if satisfactory, shall be placed "Off Maintenance". Bonds or other securities will be released after the works have been placed "Off Maintenance".

The Plan of Subdivision will not be released until all works are completed to Council's satisfaction or uncompleted works are suitably bonded.

The current *Aboriginal Cultural Heritage Act 2003* should be adhered to.

The Act is administered by the Department of Seniors, Disability Services and Aboriginal and Torres Strait Islander Partnerships. (DSDSATSIP).

The Aboriginal Cultural Heritage Act establishes a Duty of Care for Indigenous Cultural Heritage. This applies on all land and water, including freehold land. The Cultural Heritage Duty of Care lies with the person or entity conducting an activity.

Penalty proposing an activity that involves additional surface disturbance beyond that which has already occurred at the proposed site need to be mindful of the Cultural Heritage Duty of Care requirement.

Details on how to fulfil the Cultural Heritage Duty of Care are outlined in the Duty of Care Guidelines gazetted with the Act.

Council strongly advises that you contact DSDSATSIP's Cultural Heritage Coordination Unit to obtain a copy of the Duty of care Guidelines and further information on the responsibilities of proponents under the terms of the current *Aboriginal Cultural Heritage Act*.

The Applicant has the Right of Appeal to the Planning and Environment Court regarding the conditions of this approval.

Should the Applicant notify Council in writing that the conditions of approval are accepted without dispute and that the right of appeal to the Court will not be exercised, the Decision Notice may be taken to be the development permit.

Attachments for the Decision Notice include:

- Staging Plan – Stage 11, prepared by Saunders Havill Group, Reference 10703 P 05 Rev M-STG11, dated 14 January 2025
- Staging Plan – Staging Overall, prepared by Saunders Havill Group, Reference 10703 P 05 Rev M-CP01, dated 14 January 2025
- Engineering Services Report, Hedley Park Stage 11, prepared by Inertia – Job Reference 9896-11, dated 24 July 2024
- Stormwater Management Plan, Hedley Park Estate, prepared by Inertia – Job Reference 9896, dated 17 July 2024

This completes the report for Development Application No. 25207.

STAGING PLAN - STAGE 11

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

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No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

Saunders Havill Group therefore disclaims any liability for any loss or damage whatsoever or howsoever incurred, arising from any party using or relying upon this plan for any purpose other than as a document prepared for the sole purpose of accompanying a development application and which may be subject to alteration beyond the control of the Saunders Havill Group. Unless a development approval states otherwise, this is not an approved plan.

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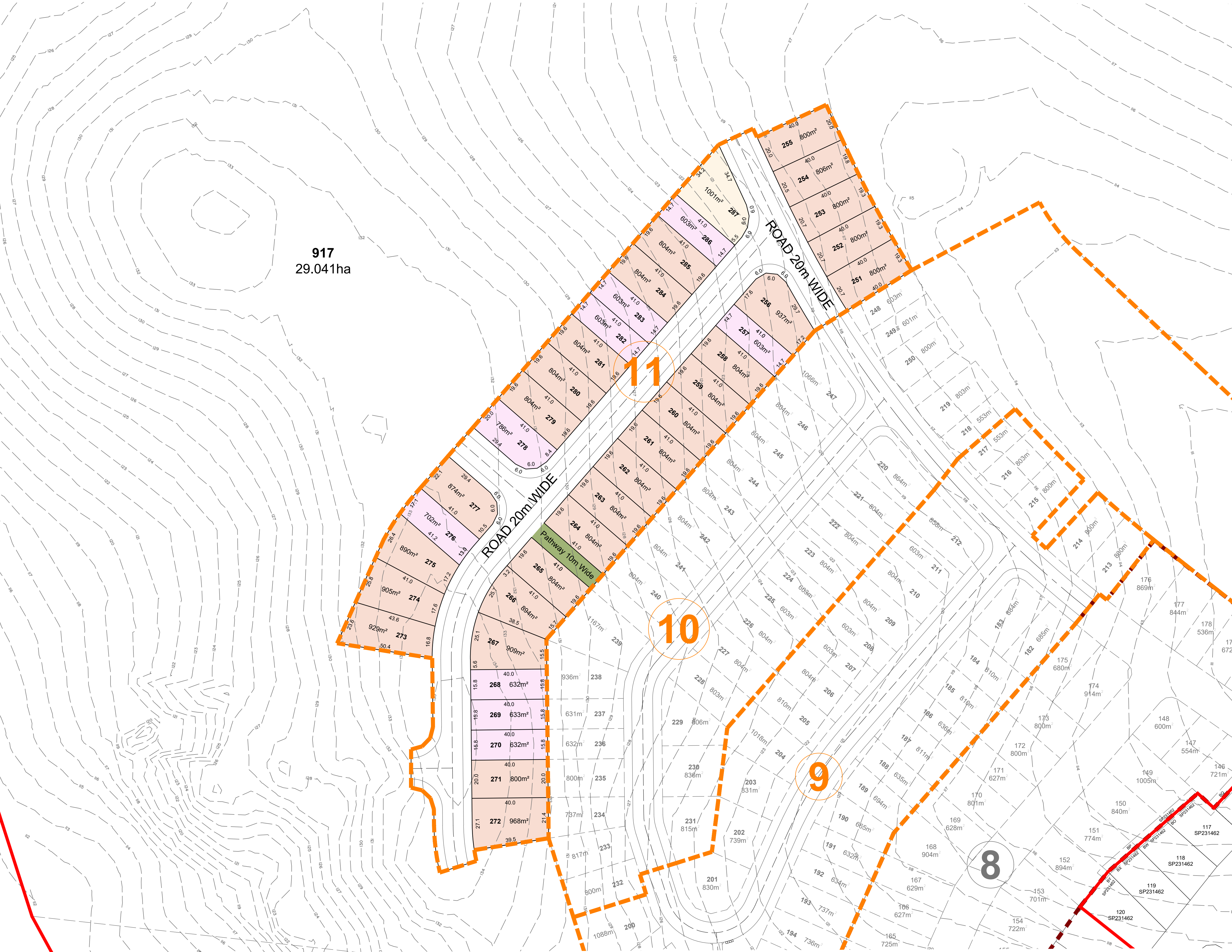
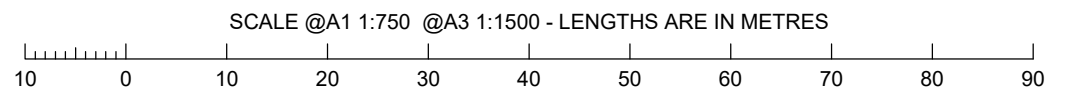
PROJECTION - GDA2020 MGA56

LEGEND

- Site Boundary (reinstatement by others)
- Major Contour (1.0m interval)
- Existing Approval
- Stage Boundary

DEVELOPMENT STATISTICS - Stage 11			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
600m² - < 800m²	9	24.3%	0.580 ha
800m² - < 1000m²	27	73.0%	2.256 ha
> 1000m²	1	2.7%	0.100 ha
Total Residential Allotments	37	100.0%	2.936 ha
Net Residential Area (Ha)	2.936 ha		
Average Lot Size (m²)	794 m²		
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	4.094 ha		
Net Residential Area (no roads)	2.936 ha	71.7%	
Road Areas	1.117 ha	27.3%	
Pedestrian Link	0.041 ha	1.0%	
Total	4.094 ha	100.0%	

RP DESCRIPTION: Lot 914 on SP282074 & 912 on SP231462



Q M PROP CO No.3 PTY LTD

OVERLANDER AVENUE, WOOLMAR 14/01/2025 10703 P 05 Rev M- STG 11

PROPOSAL PLAN - STAGING OVERALL

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

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PROJECTION - GDA2020 MGA56

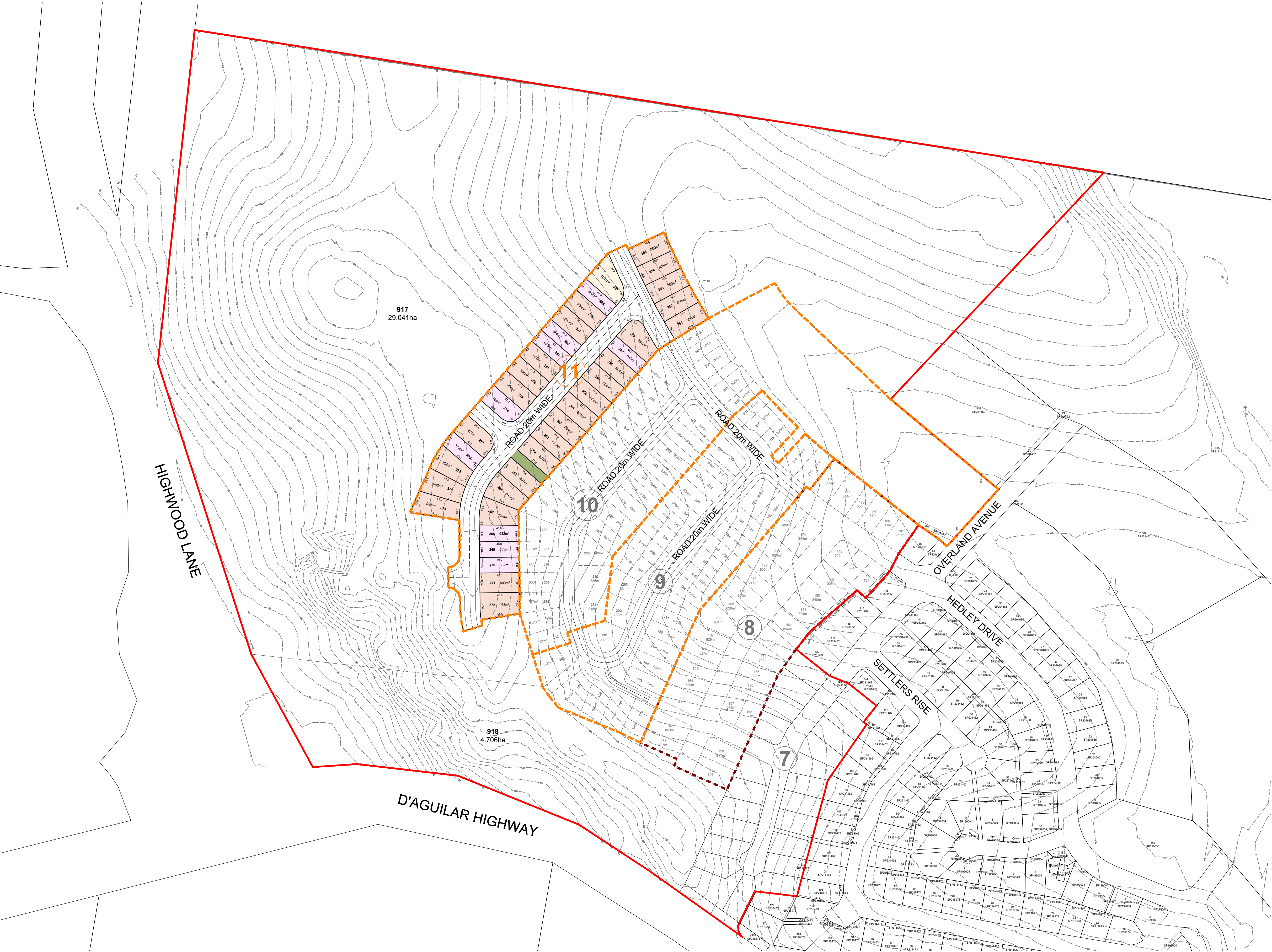
LEGEND

- Site Boundary (reinstatement by others)
- Major Contour (1.0m interval)
- Existing Approval
- Stage Boundary

DEVELOPMENT STATISTICS - Overall Development			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
600m² - < 800m²	9	24.3%	0.580 ha
800m² - < 1000m²	27	73.0%	2.256 ha
> 1000m²	1	2.7%	0.100 ha
Total Residential Allotments	37	100.0%	2.936 ha
Net Residential Area (Ha)	2.936 ha		
Average Lot Size (m²)	794 m²		
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	53.733 ha		
Net Residential Area (no roads)	2.936 ha	5.5%	
Road Areas	1.117 ha	2.1%	
Pedestrian Link	0.041 ha	0.1%	
Existing Stage 7 & 8	6.060 ha	11.3%	
Proposed Stage 9 & 10	9.832 ha	18.3%	
Balance Lot (Lot 917)	29.041 ha	54.0%	
Balance Lot (Lot 918)	4.706 ha	8.8%	
Total	53.733 ha	100.0%	

RP DESCRIPTION: Lot 914 on SP282074 & 912 on SP231462

SCALE @A1 1:2000 @A3 1:4000 - LENGTHS ARE IN METRES



Q M PROP CO No.3 PTY LTD

OVERLANDER AVENUE, WOOLMAR 14/01/2025 10703 P 05 Rev M-CP 01



Structural



Civil



Flood

Engineering Services Report

QM Properties



Hedley Park Stage 11 - D'Aguilar Highway, Kilcoy, QLD 4515

Woolmar

Job Reference Number – 9896-11

Date: 24 July 2024

Document Status

Rev No	Author	Reviewer	Approved for Issue		
			Name	Signature	Date
0	M.Llewelyn	M.Llewelyn	R.Llewelyn		15/07/2024
1	M.Llewelyn	M.Llewelyn	R.Llewelyn		24/07/2024

Distribution

Rev No	Date	Issue	Issued To	Format
0	16/07/2024	For Approval	QM Properties	PDF/E
1	24/07/2024	For Approval	QM Properties	PDF/E

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APPENDICES

APPENDIX A – PROPOSED LOT LAYOUT PLAN

APPENDIX B – CIVIL WORKS DRAWINGS

APPENDIX C – ELECTRICAL AND COMMUNICATIONS DBYD RECORDS

APPENDIX D – SRC FILLING & EXCAVATION CODE TABLE

1 Introduction

1.1. Purpose and Scope

Inertia Engineering has been commissioned by QM Properties to prepare an Engineering Services Report for the proposed development at Hedley Park Stage 11 - D'Aguilar Highway, Kilcoy, QLD 4515, Woolmar (the subject site). This report, along with the Stormwater Management Plan prepared by inertia will support the Development Application submitted for the proposed development.

The previous stages of the development include:

- Stage 1: Lots 1-18 – Completed
- Stage 2: Lots 19-43 – Completed
- Stage 3: Lots 63-91, 100-104, 126-127 – Completed
- Stage 4: Lots 45-62, 102-120 – Completed
- Stage 7: Lots 121-125, 128-145 – Completed
- Stage 8: Lots 146-181 – Completed
- Stage 9: Lots 182-217 – OPW approved, construction planned for commencement July 2024
- Stage 10: Lots 218-250 - OPW approved, construction planned for commencement July 2024

This report considers the bulk earthwork design and demonstrates conceptually how the development can be serviced by water, sewer, and other infrastructure such as electricity and telecommunications. The separate Stormwater Management Plan prepared by Inertia addresses the stormwater management (quality and quantity) during the construction and operational phases of the proposed development.

The required detailed design for the service infrastructure will be subject to the conditions (if any) attached to the Development Approval to be provided by Council and any nominated referral agencies.

1.2. Report Limitations

This report has been prepared by Inertia Engineering Pty Ltd for QM Properties and may only be used and relied on by QM Properties for the purpose agreed between Inertia Engineering and QM Properties as detailed within this report.

Inertia Engineering otherwise disclaims responsibility to any person other than QM Properties arising in connection with this report. Inertia Engineering also excludes implied warranties and conditions, to the extent legally permissible.

The services undertaken by Inertia Engineering in connection with preparing this report were limited to those specifically detailed in the report and are subject to the scope limitations set out in the report.

The opinions, conclusions and any recommendations in this report are based on conditions encountered and information reviewed at the date of preparation of the report. Inertia Engineering has no responsibility or obligation to update this report to account for events or changes occurring after the date that the report was prepared.

The opinions, conclusions and any recommendations in this report are based on assumptions made by Inertia Engineering described in this report. Inertia Engineering disclaims liability arising from any of the assumptions being incorrect.

Inertia Engineering has prepared this report based on information provided by QM Properties and others who provided information to Inertia Engineering (including Government authorities), which Inertia Engineering has not independently verified or checked beyond the agreed scope of work. Inertia Engineering does not accept liability in connection with such unverified information, including errors and omissions in the report which were caused by errors or omissions in that information.

2 Site Characteristics

The land contained within the site is described as follows:

Title Details:	Lot 914 on SP282074 & Lot 912 on SP231462
Street Address:	Hedley Park Stage 11 - D'Aguilar Highway, Kilcoy, QLD 4515, Woolmar
Stage 11 Area:	4.407 ha
Balance Lot	28.728 ha

Refer to Appendix A for the proposed lot layout plan.

2.1. Location



Figure 2-1 – Location Plan

The subject site is located in Woolmar, approximately 2km West of the Kilcoy. It occupies a total area of 4.4 ha and lies within the General Residential Zone under SRC's Planning Scheme (2016). The site is

bounded by the D'Aguilar Highway to the south, future developable vacant land to the north and west and previous Hedley Park development stages to the east.

2.2. Topography

The subject site grades constantly along the development, with a peak in at 135 AHD just off the Southern end of the Stage, then grading North-East to a low point of 116m AHD in the north-east corner of the site. The average grade across the site is approximately 6.5%. The existing site is made up of vacant open farmland.

3 Development Layout

The proposed development is for the reconfiguration of a lot for the creation of Hedley Park Estate Stage 11, from 2 lots into 40 Residential lots. The proposed development includes associated roadworks, drainage, sewer, and water reticulation.

Access to the site is provided in one (1) location, Hedley Drive to the east of the proposed development.

Refer to Figure 3-1 below and Appendix A for the proposed lot layout plan.

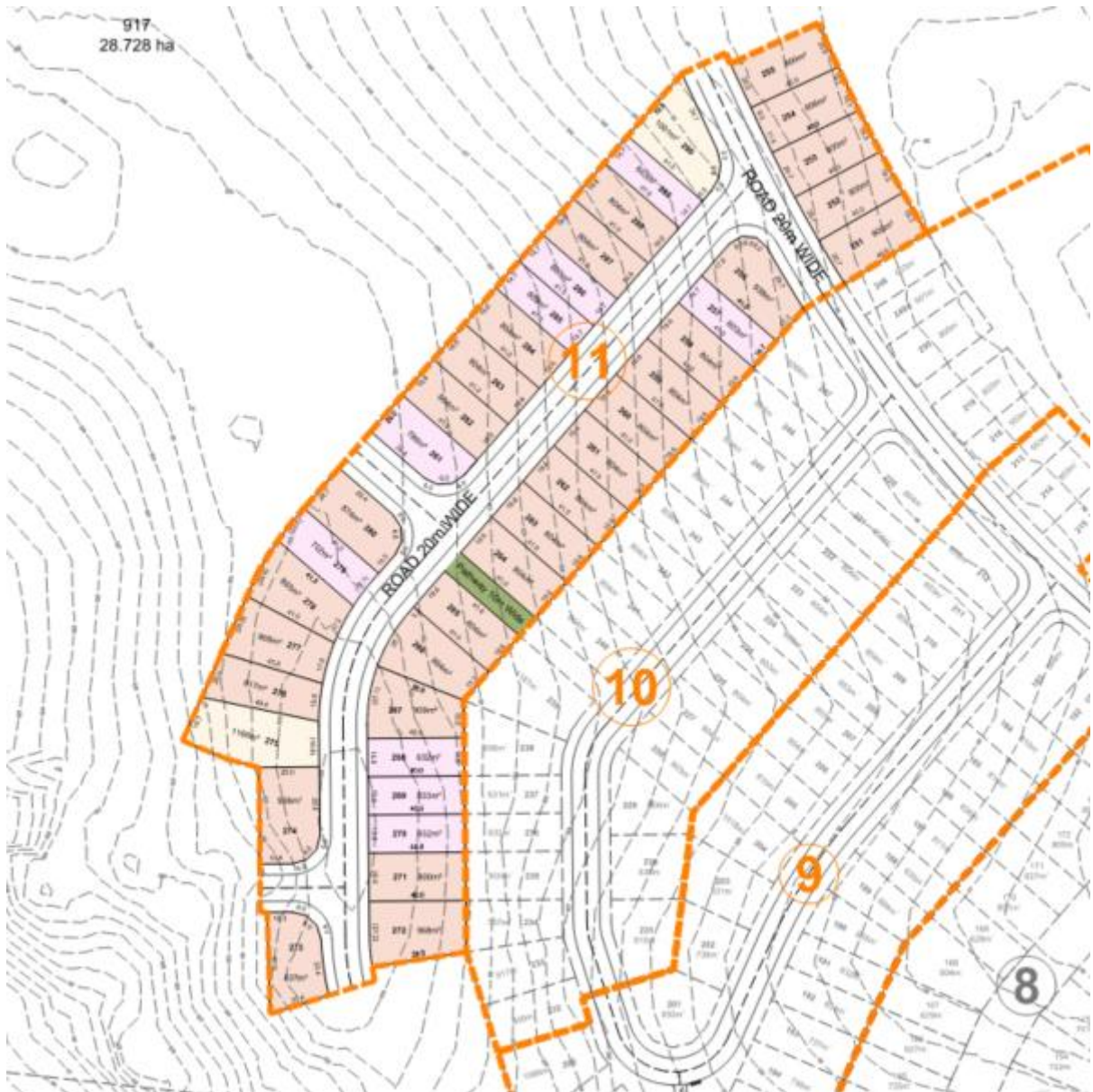


Figure 3-1 – Development Layout

4 Flooding

Somerset Regional Council's Flood Hazard Overlay mapping shows that the proposed development area is not subjected to flood inundation from the nearby Sheep Station Creek.

The subject site's location relative the Somerset Region Planning Scheme's OM007e Flood Hazard Overlay Kilcoy is shown below in Figure 4-1.

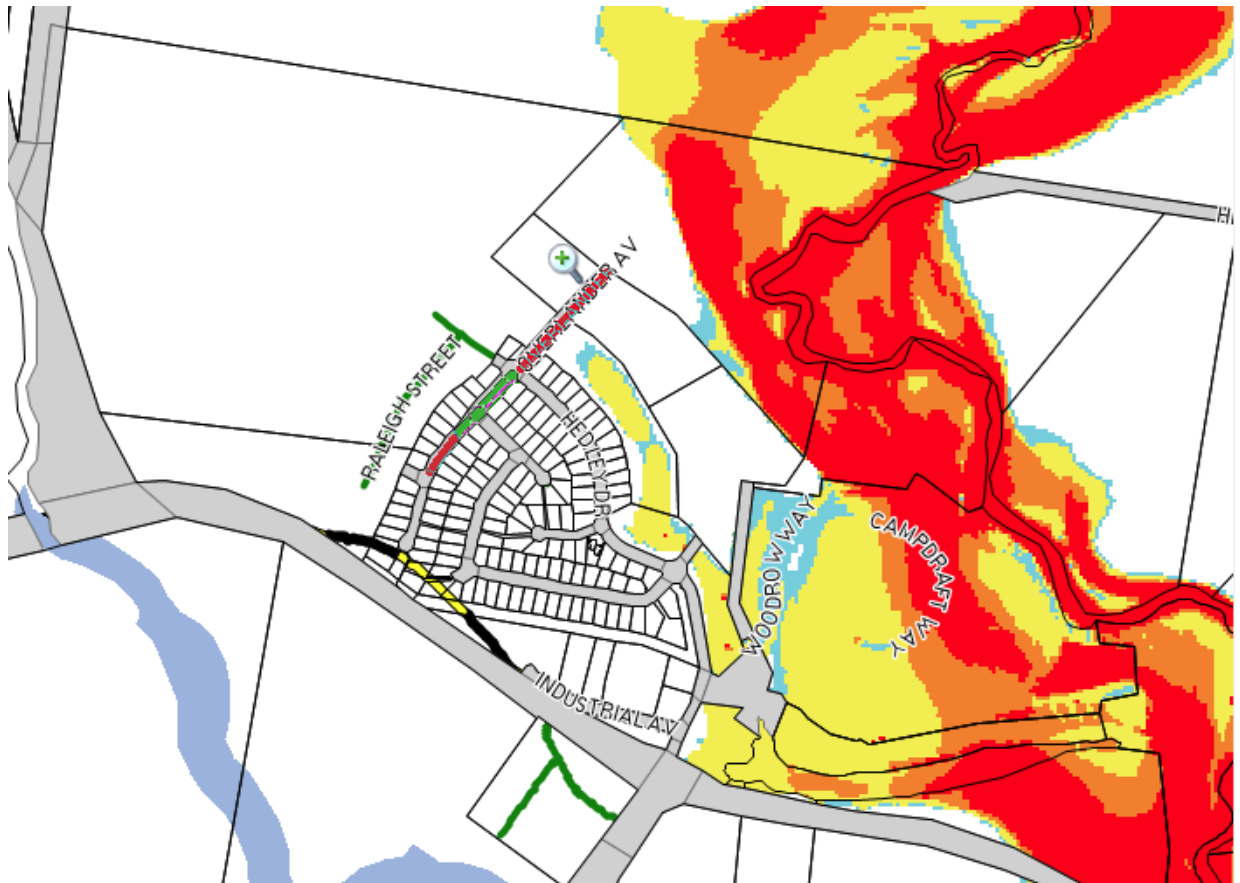


Figure 4-1 – Flood Hazard Overlay Mapping

5 Services, Works and Infrastructure

5.1. Sewerage Reticulation

5.1.1. Existing Sewer

Stage 10 of Hedley Park Estate is approved with target commencement date of July 2024 and anticipated completion by February 2025. Stage 10 will provide a connection point on Hedley Drive within the verge in front of Lot 251 for the Stage 11 sewer reticulation.

5.1.2. Proposed Sewer

In accordance with Urban Utilities standards, Stages 9 and 10 will be serviced by DN160 PE pipe. The proposed sewer main will extend from the connection point provided within Hedley Drive which will be constructed as part of Stage 11.

Within Stage 11, all Lots will be serviced from the front of Lot by the sewer reticulation provided in the road verges.

The proposed design provides an end of line arrangement at the Northern end of Hedley Drive to facilitate connection to future Hedley Park Stages.

Refer to Appendix B which illustrates the proposed servicing layout plan.

5.2. Water Reticulation

5.2.1. Existing Water

Stage 10 of Hedley Park Estate is approved with target commencement date of July 2024 and anticipated completion by February 2025. Stage 10 will provide a DN180 PE connection point for the Stage 11 water reticulation. The connection point will be located in the verge of Hedley Drive in front of Lot 256.

5.2.2. Proposed Water

In accordance with Urban Utility standards, stage 11 will be serviced by DN180 PE pipe.

Within Stage 11, the proposed watermain will extend within the southern/western verge of Hedley Drive and the southern/eastern verge of Road 2, with branches off Road 2 up the verge of Road 6 and Road 5

Four (4) end of line arrangements will be provided to facilitate connection to future Hedley Park Stages.

- Connection point 1 will be at the southern end of Road 2
- Connection 2 will be at the eastern end of Road 6
- Connection 3 will be at the northern/eastern end of Road 5
- Connection 4 will be at the norther/western end of Hedley Drive

Refer to Appendix B which illustrates the proposed servicing layout plan.

5.3. Electricity and Communications

Electricity and telecommunication infrastructure is available in the near vicinity of the subject site. The appropriate consultants should be engaged to assess the available capacity in the network to service the development. The location of the existing electricity and communication should be confirmed via potholing prior to construction.

Please refer to Appendix C for Electrical and Communication DBYD Records.

6 Filling and Excavation

6.1. Earthworks

To assist the end user (homeowner) in minimising initial upfront construction costs for their house build, the earthworks strategy has been focused on providing a flat pad area for each lot – generally 1% fall from front to back and flat to 0.5% from side boundary to side boundary.

Level differences in pad levels between lots are typically addressed through the use of interallotment batters with the aim to reduce the requirement for retaining walls. Batters have been positioned to ensure the top or toe of batters are a minimum 300mm clear from interallotment boundaries and have been set to a maximum of 1V:4H batter slope. Typical details for batter arrangements of lots, and earthworks sections have been provided as part of earthworks sketches. Retaining walls have only been nominated for constrained areas where minimum flat pad areas are not able to be achieved with interallotment batters.

The site is not subjected to flood inundation from the nearby Sheep Station Creek (refer to Section 4.0) and as a result, the Stage 11 bulk earthworks design has been developed without the requirement to consider minimum pad levels or flood storage earthworks.

Due to the challenging (steep) topography the broader site, concept Whole of Site (WOS) earthworks modelling has been completed for the future Hedley Park stages. The site is also constrained by the existing levels of the previous Hedley Park stages to the east and the steep rise (from the existing development) to the existing hilltop to the west. The Stage 11 bulk earthworks design has been developed in coordination with the WOS design to ensure the best design outcomes.

The Stage 11 proposed earthworks consider the earthworks required for future stages by extending the current proposed earthworks beyond the Stage boundaries to tie-in to future stage levels. This ensures that the construction of future lots will not impact the existing lots.

Refer to Appendix B which shows a schematic of the earthworks proposed for the site.

In all situations where earthworks are proposed and any ground is disturbed by construction works, sediment and erosion control measures will be implemented in accordance with the following documents:

- Relevant SRC sediment and erosion control guidelines;
- International Erosion Control Association (IECA) Sediment and Erosion Control Guidelines; and
- Australian Standards AS 3798-2007.

6.2. Erosion and Sediment Control Measures

6.2.1. Pre-Development

Prior to construction, the following sediment and erosion control measures will be implemented to minimise disturbance and ensure water quality is maintained;

- Set out transport routes to ensure minimal vegetation disturbance;

- Construct entry/exit areas that comprise a designed gravel pad or hardwood logs in accordance with the IECA (2001);
- Install sediment fences around the proposed bulk earthworks site (along toe of batter alignment); and
- Install dust control fences adjacent to the proposed bulk earthworks site.

6.2.2. Bulk Earthworks

- Earthworks areas are to be protected against wind and water erosion;
- Silt fences are to be erected around the base of the earthworks and material stockpiles;
- Stockpiles and construction material are not permitted to be stored within the road reserve; and,
- Diversion drains to be provided at upstream catchments to reduce flows onto earthworks areas.

6.2.3. Construction

The following measures will be undertaken to mitigate water quality impacts during the construction phase:

- Sediment fences to be erected at the base of all batters and stockpiles to prevent sediment transportation off site;
- Grass filter strips to be placed along all road verges;
- Re-vegetation of all disturbed areas within two weeks of completion;
- All sediment control structures to be maintained in an effective manner and inspected after each storm event. No structure is to accumulate sediment above 40% of its capacity;
- Dust producing areas to be swept to remove silt/dust and wetting of roads is only permitted where sweeping has failed;
- At least one bin or litter trap is to be provided for waste material.

6.2.4. Post-Development-Maintenance Period

Silt fences are to remain in place during the maintenance period until the landscaping has established and accepted "On-Maintenance" by SRC.

6.2.5. Performance Objectives and Indicators

The Guideline on Identifying and Applying Water Quality Objectives states that stormwater runoff during the construction phase must be in accordance within the concentration ranges shown in Table 6.1 below.

Table 6-1 – Construction Phase Pollutant Objectives

Pollutant	Criteria
Total Suspended Solids	90th %tile < 100mg/L for wet weather periods 15mg/L for combined wet and dry periods
pH	6.5 – 8.5
Total Nitrogen (mg/L)	0.65

Total Phosphorous (mg/L)	0.07
Dissolved Oxygen	80 to 105 percent saturation
Oils and Grease	No visible films or odours
Litter	No anthropogenic material greater than 5mm

6.3. Monitoring and Maintenance

The following monitoring and maintenance procedures are to be undertaken by the site supervisor during all phases of the development:

- Restrict all work activities to designated construction areas;
- Earthworks and site cleaning are undertaken in accordance with the Erosion and Sediment Control plans;
- Inspections of Stormwater and Sediment and Erosion Controls are to be conducted at the end of each construction day and after each rainfall event (>25mm); and
- Any failure to the stormwater system shall be immediately rectified to prevent uncontrolled discharge from the site.

7 Conclusions and Recommendations

This Engineering Services Report, together with the Stormwater Management Plan has assessed the stormwater management, earthworks, and service infrastructure for the proposed development at Hedley Park (Stage 11), Woolmar.

Earthworks, erosion, and sediment control solutions required on site can be performed using common and accepted methods. It is noted that the proposed earthworks will typically adopt interallotment batters in place of retaining walls.

Service supply points for water and sewer reticulation, electricity and telecommunications are located adjacent to the proposed development.

This report has demonstrated that the proposed development proposal provides an acceptable solution for all engineering services and has been designed to comply with SRC's Planning Scheme Policy (2016).

8 References

IPWEAQ (2016), Queensland Urban Drainage Manual Fourth Edition

SRC (2016) Somerset Regional Council, Guidelines and Standards

SRC (2016) Planning Scheme Policy

Department of State Development, Infrastructure and Planning (2017), State Planning Policy

WSAA (2002) Water Services Association of Australia, 'Water Supply Code of Australia – Part 1: Planning and Design', 2002

WSAA (2002) Water Services Association of Australia, 'Sewerage Code of Australia – Part 1: Planning and Design', 2002



Appendices



Appendix A – Proposed Lot Layout Plan

PROPOSAL PLAN - STAGING OVERALL

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PROJECTION - GDA2020 MGA56

LEGEND

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RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
600m² - < 800m²	9	22.5%	0.580 ha
800m² - < 1000m²	29	72.5%	2.425 ha
> 1000m²	2	5.0%	0.217 ha
Total Residential Allotments	40	100.0%	3.222 ha
Net Residential Area (Ha)	3.222 ha		
Average Lot Size (m²)	806 m²		
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	53.733 ha		
Net Residential Area (no roads)	3.222 ha	6.0%	
Road Areas	1.144 ha	114.4%	
Pedestrian Link	0.041 ha	4.1%	
Existing Stage 7 & 8	6.060 ha	11.3%	
Proposed Stage 9 & 10	9.832 ha	18.3%	
Balance Lot (Lot 917)	28.728 ha	53.5%	
Balance Lot (Lot 918)	4.706 ha	8.8%	
Total	53.733 ha	100.0%	

RP DESCRIPTION: Lot 914 on SP282074 & 912 on SP231462

SCALE @A1 1:2000 @A3 1:4000 - LENGTHS ARE IN METRES



Q M PROP CO No.3 PTY LTD

OVERLANDER AVENUE, WOOLMAR 22/07/2024 10703 P 05 Rev K -CP 01



Appendix B – Civil Works Drawings



STAGE 11

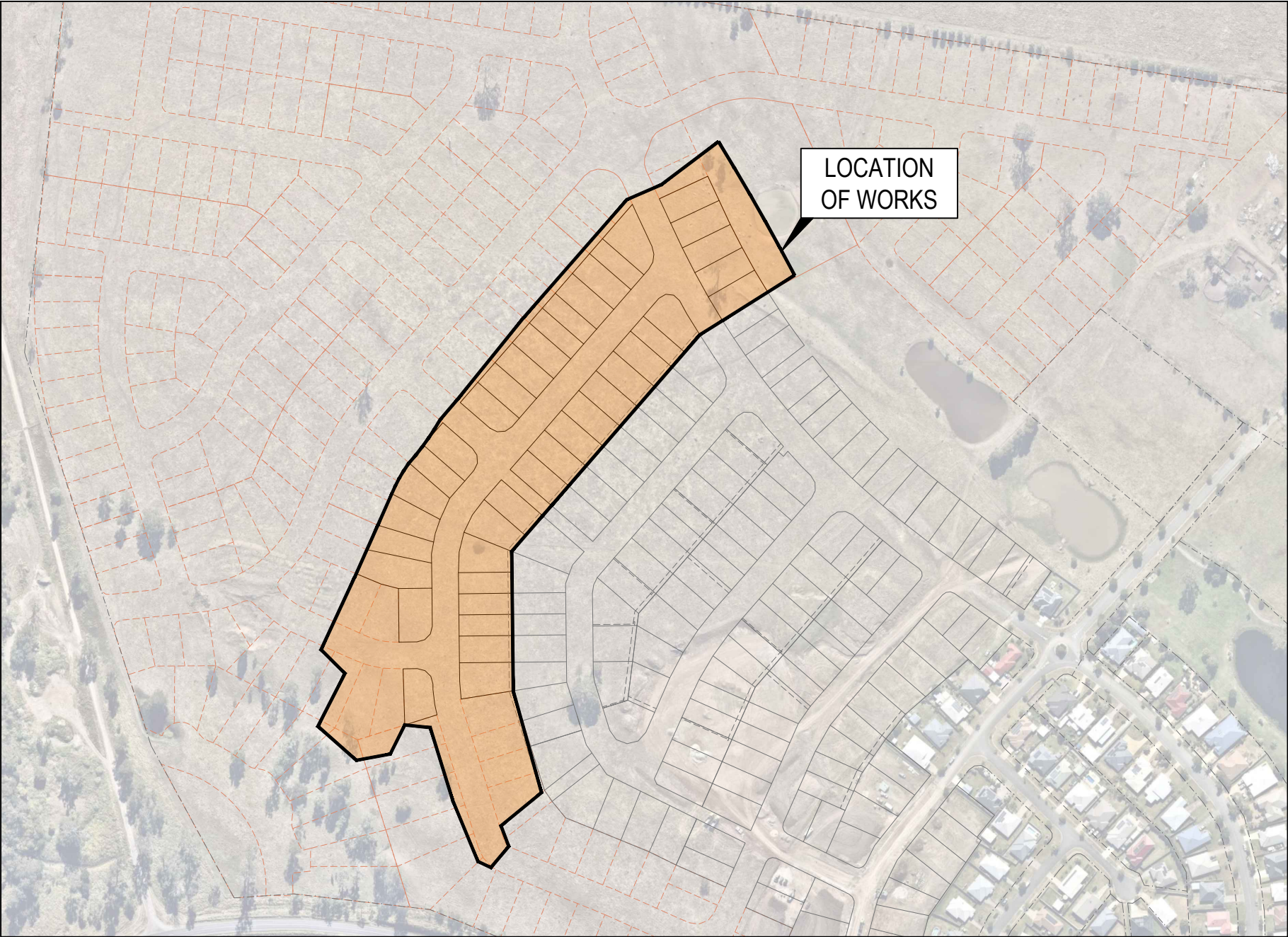
HEDLEY PARK

30 SETTLERS RISE, WOOLMAR, QLD 4515

DEVELOPMENT APPLICATION

FOR QM PROPERTIES

PREPARED BY



DRAWING INDEX	
DWG. NO.	DESCRIPTION
SK-001	OVERALL SITE CONCEPT PLAN
SK-201	BULK EARTHWORKS CONCEPT LAYOUT PLAN SHEET 1
SK-202	BULK EARTHWORKS CONCEPT LAYOUT PLAN SHEET 2
SK-205	BULK EARTHWORKS LONGITUDINAL SECTIONS
SK-301	ROADWORKS AND DRAINAGE CONCEPT LAYOUT PLAN SHEET 1
SK-302	ROADWORKS AND DRAINAGE CONCEPT LAYOUT PLAN SHEET 2
SK-501	STORMWATER DRAINAGE PRE DEVELOPMENT CATCHMENT PLAN
SK-502	STORMWATER DRAINAGE POST DEVELOPMENT CATCHMENT PLAN
SK-601	SITE SERVICES CONCEPT LAYOUT PLAN SHEET 1
SK-602	SITE SERVICES CONCEPT LAYOUT PLAN SHEET 2



LOCALITY PLAN

EXTRACTED FROM GOOGLE MAPS © 2021
NOT TO SCALE

					DESIGNER BENJAMIN M.
					DRAFTING QA DIEGO M.
					DESIGN QA BENJAMIN M.
B	ISSUE FOR DA APPROVAL	12.06.24	BCM	ML	QA CHECKED MATT LLEWELYN
A	FOR INFORMATION	07.06.24	DM	ML	
REV	DESCRIPTION	DATE	DRAWN	REVIEW	



ABN 82 115 498 023 Phone: 3857 7968
E-mail: info@inertiaeng.com.au

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CLIENT:




ESTATE



NORTH POINT:



SCALE BARS:



SCALE 1:2000 (A1) 1:4000 (A3)

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PROJECT:

HEDLEY PARK ESTATE
STAGE 11

DRAWING TITLE:

OVERALL SITE
CONCEPT PLAN

FOR INFORMATION

JOB No: 9896-1101 DWG No: SK-001 REV: B

44

LEGEND

EXISTING PROPERTY BOUNDARY
PROPOSED PROPERTY BOUNDARY
EXISTING CONTOURS (AT 0.25m INTERVALS)
DESIGN CONTOURS (AT 0.25m INTERVALS)
EXISTING KERB
EXISTING ROAD CENTRELINE
EXISTING EDGE OF BITUMEN
EXISTING STORMWATER
EXISTING SEWER
EXISTING WATER
EXISTING BATTER TOP
EXISTING BATTER TOE
PROPOSED BATTER TOP
PROPOSED BATTER TOE
PROPOSED KERB
PROPOSED EDGE OF BITUMEN
PROPOSED ROAD CENTRELINE
STAGE BOUNDARIES
PROPOSED RETAINING WALL
RETAINING WALL HEIGHT LABEL

8.0
8.0
SWD
S
W W
X.Xxm

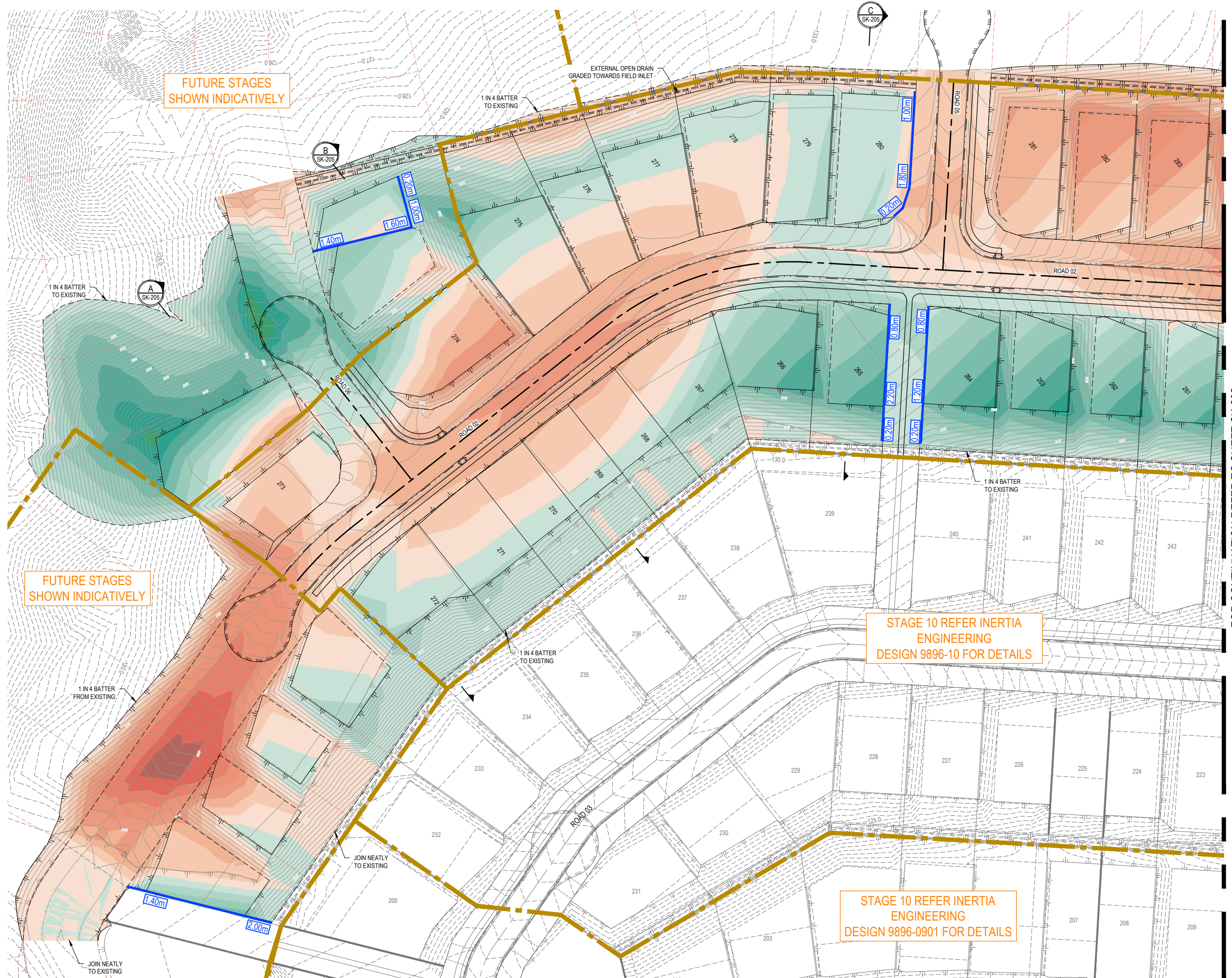
CUT & FILL LEGEND

EXCAVATION
0.01m - 0.30m
0.30m - 0.60m
0.60m - 0.90m
0.90m - 1.20m
1.20m - 1.50m
1.50m - 1.80m
1.80m - 2.10m
2.10m - 2.40m
2.40m - 2.70m

FILLING
0.01m - 0.30m
0.30m - 0.60m
0.60m - 0.90m
0.90m - 1.20m
1.20m - 1.50m
1.50m - 1.80m
1.80m - 2.10m
2.10m - 2.40m
2.40m - 2.70m

EARTHWORKS VOLUMES (EXISTING SURFACE TO DESIGN SURFACE)	
TOPSOIL STRIP (100mm DEPTH)	6,097m³
TOTAL CUT	38,271m³
TOTAL FILL	31,000m³
EXPORT MATERIAL	7,270m³

NOTE: 100mm STRIP FROM SURFACE TO MINIMUM SUBGRADE LEVELS



FOR CONTINUATION REFER TO SHEET SK-202

REV	DESCRIPTION	DATE	DRAWN	REVIEW
C	ISSUE FOR DA APPROVAL	18.07.24	DM	ML
B	ISSUE FOR DA APPROVAL	12.06.24	BCM	ML
A	FOR INFORMATION	07.06.24	DM	ML
REV	DESCRIPTION	DATE	DRAWN	REVIEW

Inertia
ABN 82 115 498 023 Phone: 3857 7868
E-mail: info@inertiaeng.com.au
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CLIENT:
QPM
PROPERTIES

ESTATE:
HEDLEY PARK

NORTH POINT:

SCALE BARS:
0 10 20 30m
SCALE 1:500 (A1) 1:1000 (A3)
THIS DRAWING IS TO BE PRINTED IN COLOUR REPRODUCTION OR READING OF THIS DRAWING IN OTHER THAN FULL COLOUR MAY IMPART FALSE OR MISLEADING INFORMATION

PROJECT:
HEDLEY PARK ESTATE
STAGE 11
DRAWING TITLE:
BULK EARTHWORKS
CONCEPT LAYOUT PLAN
SHEET 1

FOR INFORMATION
JOB No 9896-1101 DWG No SK-201 REV C
45

LEGEND

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- EXISTING CONTOURS (AT 0.25m INTERVALS)
- DESIGN CONTOURS (AT 0.25m INTERVALS)
- EXISTING KERB
- EXISTING ROAD CENTRELINE
- EXISTING EDGE OF BITUMEN
- EXISTING STORMWATER
- EXISTING SEWER
- EXISTING WATER
- EXISTING BATTER TOP
- EXISTING BATTER TOE
- PROPOSED BATTER TOP
- PROPOSED BATTER TOE
- PROPOSED KERB
- PROPOSED EDGE OF BITUMEN
- PROPOSED ROAD CENTRELINE
- STAGE BOUNDARIES
- PROPOSED RETAINING WALL
- RETAINING WALL HEIGHT LABEL

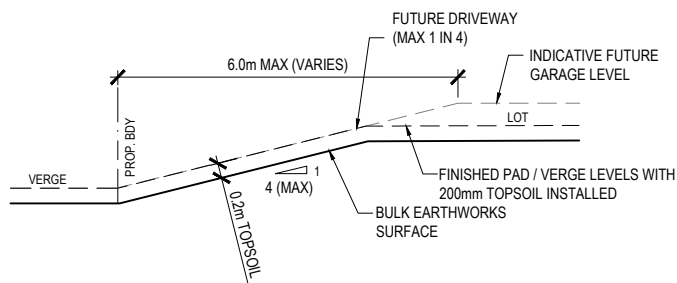
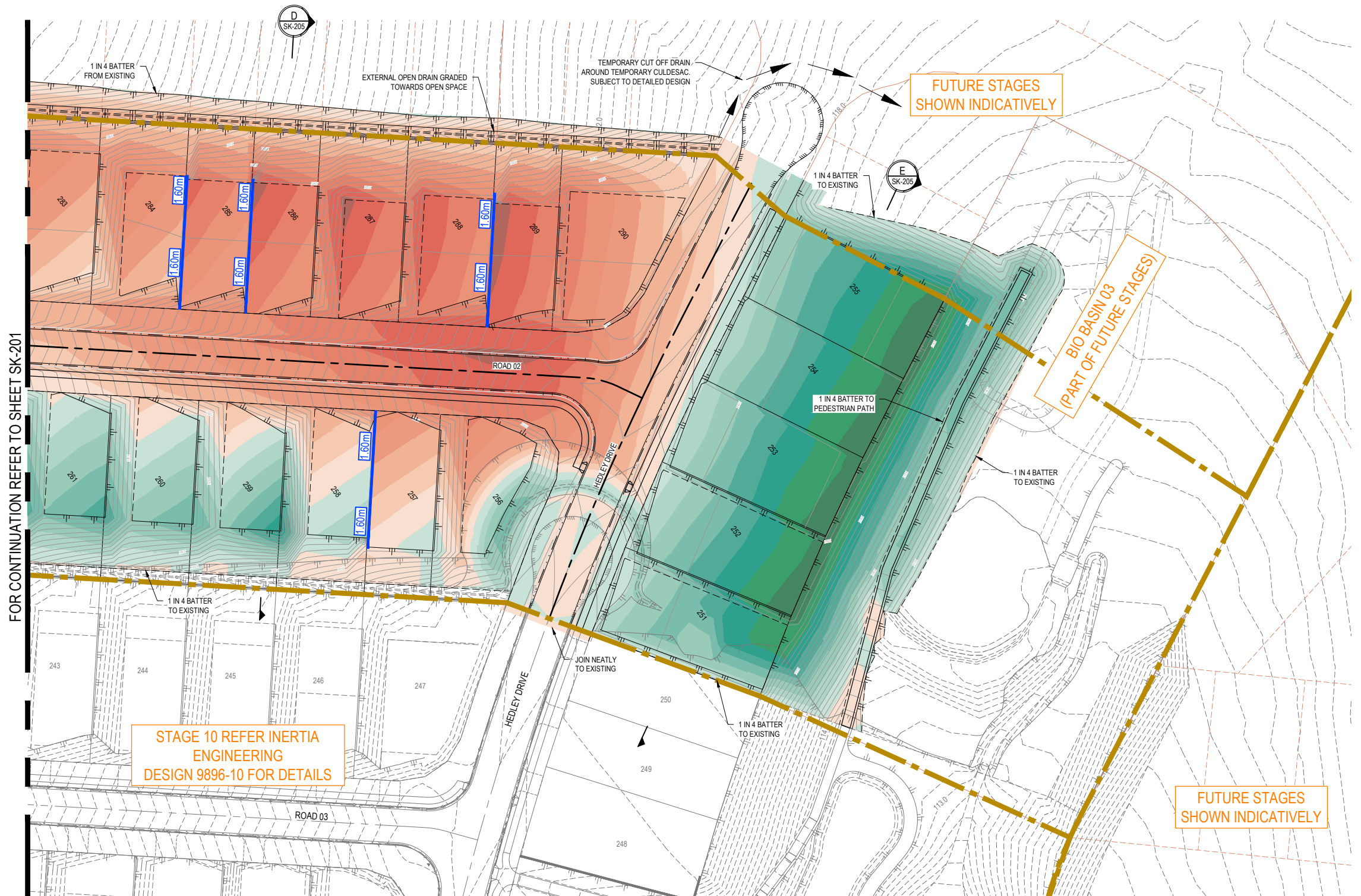
CUT & FILL LEGEND

EXCAVATION	FILLING
0.01m - 0.30m	
0.30m - 0.60m	
0.60m - 0.90m	
0.90m - 1.20m	
1.20m - 1.50m	
1.50m - 1.80m	
1.80m - 2.10m	
2.10m - 2.40m	
2.40m - 2.70m	

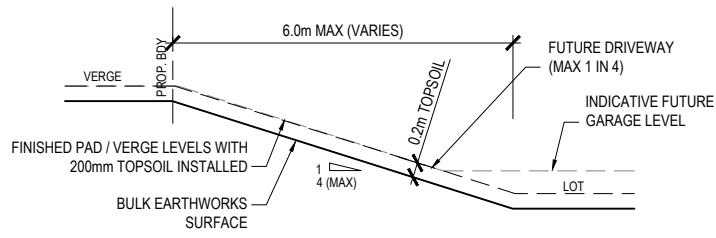
EARTHWORKS VOLUMES
(EXISTING SURFACE TO DESIGN SURFACE)

TOPSOIL STRIP (100mm DEPTH)	6,097m³
TOTAL CUT	38,271m³
TOTAL FILL	31,000m³
EXPORT MATERIAL	7,270m³

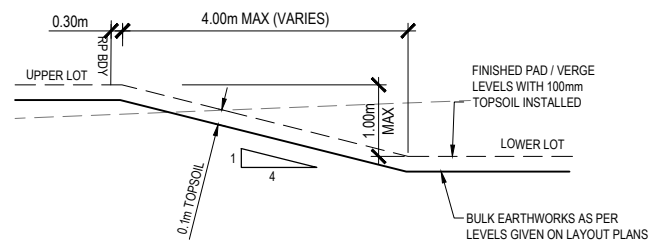
NOTE: 100mm STRIP FROM SURFACE TO MINIMUM SUBGRADE LEVELS



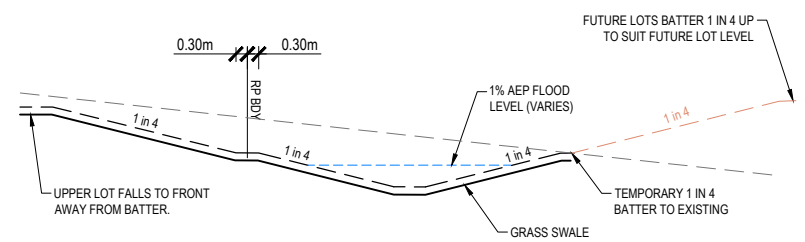
LOT HIGHER THAN VERGE BATTER DETAIL
NOT TO SCALE



LOT LOWER THAN VERGE BATTER DETAIL
SCALE 1:20



BATTER DETAIL BETWEEN LOTS
SCALE 1:20



REAR ALLOTMENT SWALE DETAIL
SCALE 1:100

VERSION: 1.00 (2024/06/06) - J.M. Design Co. Pty Ltd

REV	DESCRIPTION	DATE	DRAWN	REVIEW
C	ISSUE FOR DA APPROVAL	18.07.24	DM	ML
B	ISSUE FOR DA APPROVAL	12.06.24	BCM	ML
A	FOR INFORMATION	07.06.24	DM	ML
QA CHECKED	MATT LLEWELYN			

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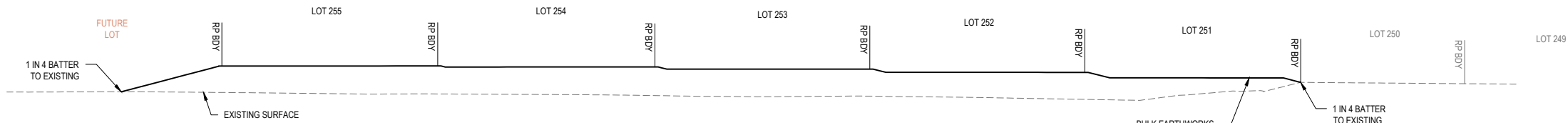
ESTATE: **HEDLEY PARK**

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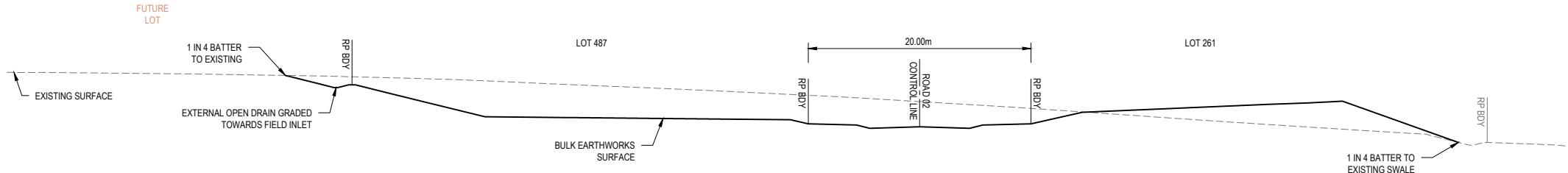
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SCALE 1:500 (A1) 1:1000 (A3)

PROJECT: **HEDLEY PARK ESTATE STAGE 11**
DRAWING TITLE: **BULK EARTHWORKS CONCEPT LAYOUT PLAN SHEET 2**

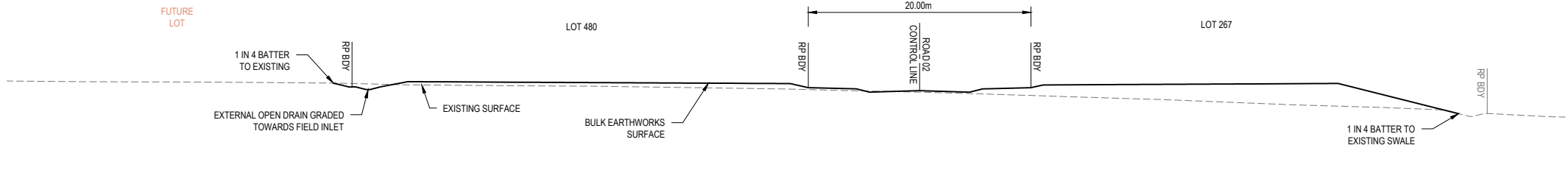
FOR INFORMATION
JOB No: 9896-1101 DWG No: SK-202 REV: C
46



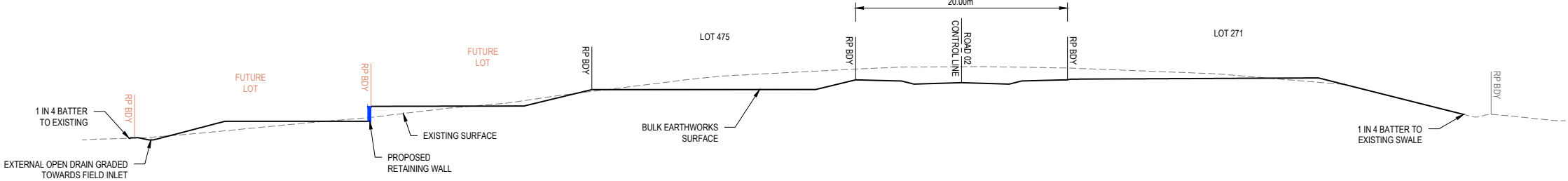
SECTION E
SCALE: 1:250
SK-202



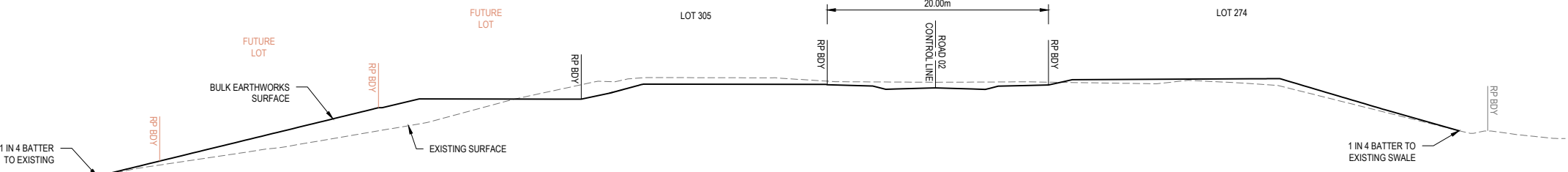
SECTION D
SCALE: 1:250
SK-202



SECTION C
SCALE: 1:250
SK-201



SECTION B
SCALE: 1:250
SK-201



SECTION A
SCALE: 1:250
SK-201

					DESIGNER BENJAMIN M.
					DRAFTING QA DIEGO M
					DESIGN QA BENJAMIN M.
B	ISSUE FOR DA APPROVAL	12.06.24	BCM	ML	QA CHECKED MATT LLEWELYN
A	FOR INFORMATION	07.06.24	DM	ML	
REV	DESCRIPTION	DATE	DRAWN	REVIEW	



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E-mail: info@inertiaeng.com.au

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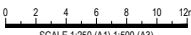
CLIENT:



ESTATE



NORTH POINT:

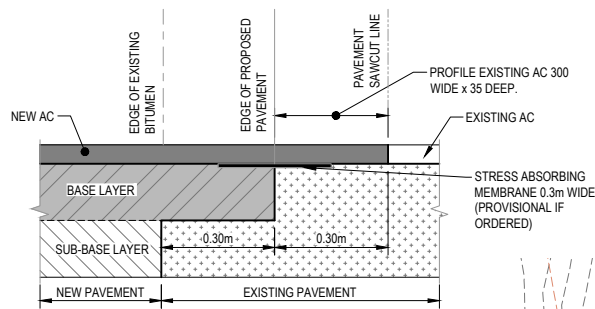
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SCALE 1:250 (A1) 1:500 (A3)

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PROJECT:
HEDLEY PARK ESTATE
STAGE 11

DRAWING TITLE:
BULK EARTHWORKS
LONGITUDINAL SECTIONS

FOR INFORMATION		
JOB No	DWG No	REV
9896-1101	SK-205	B
47		



PAVEMENT JOINT DETAILS FLEXIBLE PAVEMENT

NOT TO SCALE

NOTES:

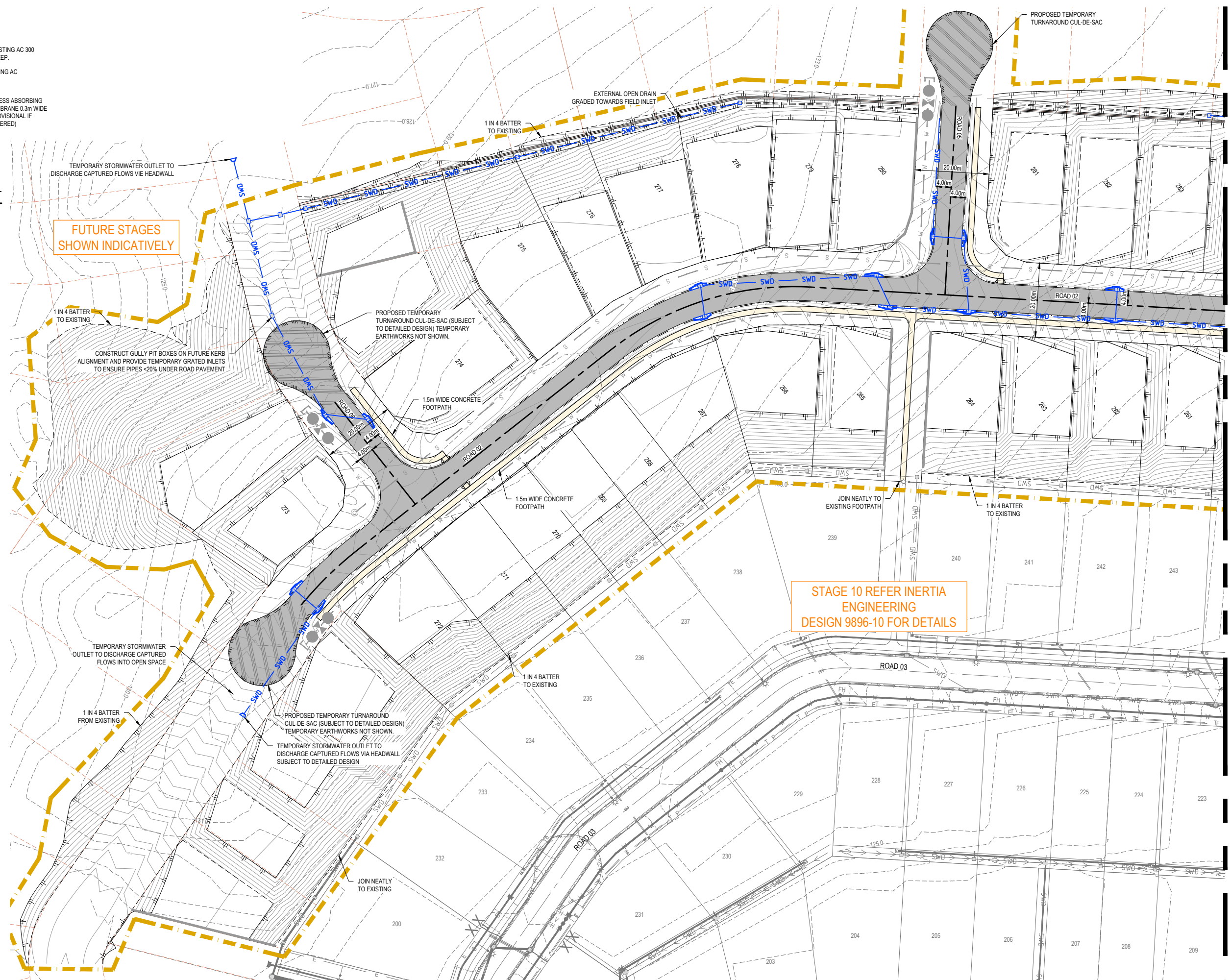
- 1. IF CBR VALUES LESS THAN 3.5 ARE ENCOUNTERED, CONTACT THE ENGINEER TO CONFIRM SUBGRADE REPLACEMENT STRATEGY.
- 2. SUBGRADE TEST RESULTS TO BE FORWARDED TO THE SUPERINTENDENT FOR PAVEMENT DESIGN DETERMINATION OF BOX DEPTHS PRIOR TO EXCAVATION. TESTS SHALL INCLUDE SOAKED CBR AND/OR OTHER TESTS AS REQUESTED BY THE SUPERINTENDENT.

NOTE

THE STORMWATER DRAINAGE LAYOUT SHOWN ON THIS PLAN IS TO DEMONSTRATE SERVICEABILITY AND CLEARANCE OF PROPOSED SERVICES ONLY. REFER TO SK007 FOR ROADWORK AND DRAINAGE PLAN

LEGEND

	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	EXISTING CONTOURS (AT 1.00m INTERVALS)
	DESIGN CONTOURS (AT 0.25m INTERVALS)
	EXISTING KERB
	EXISTING ROAD CENTRELINE
	EXISTING EDGE OF BITUMEN
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING WATER
	EXISTING BATTER TOP
	EXISTING BATTER TOE
	PROPOSED BATTER TOP
	PROPOSED BATTER TOE
	PROPOSED KERB
	PROPOSED EDGE OF BITUMEN
	PROPOSED ROAD CENTRELINE
	PROPOSED STORMWATER DRAINAGE
	EXTENT OF WORKS
	PROPOSED TEMPORARY PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED FOOTPATH



						DESIGNER BENJAMIN M.
						DRAFTING QA DIEGO M
						DESIGN QA BENJAMIN M.
B	ISSUE FOR DA APPROVAL	12.06.24	BCM	ML		
A	FOR INFORMATION	07.06.24	DM	ML		
REV	DESCRIPTION	DATE	DRAWN	REVIEW		QA CHECKED MATT LLEWELYN

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CLIENT: **QPM PROPERTIES**

ESTATE: **HEDLEY PARK**

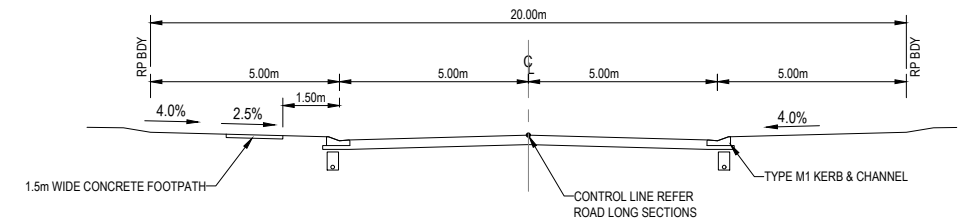
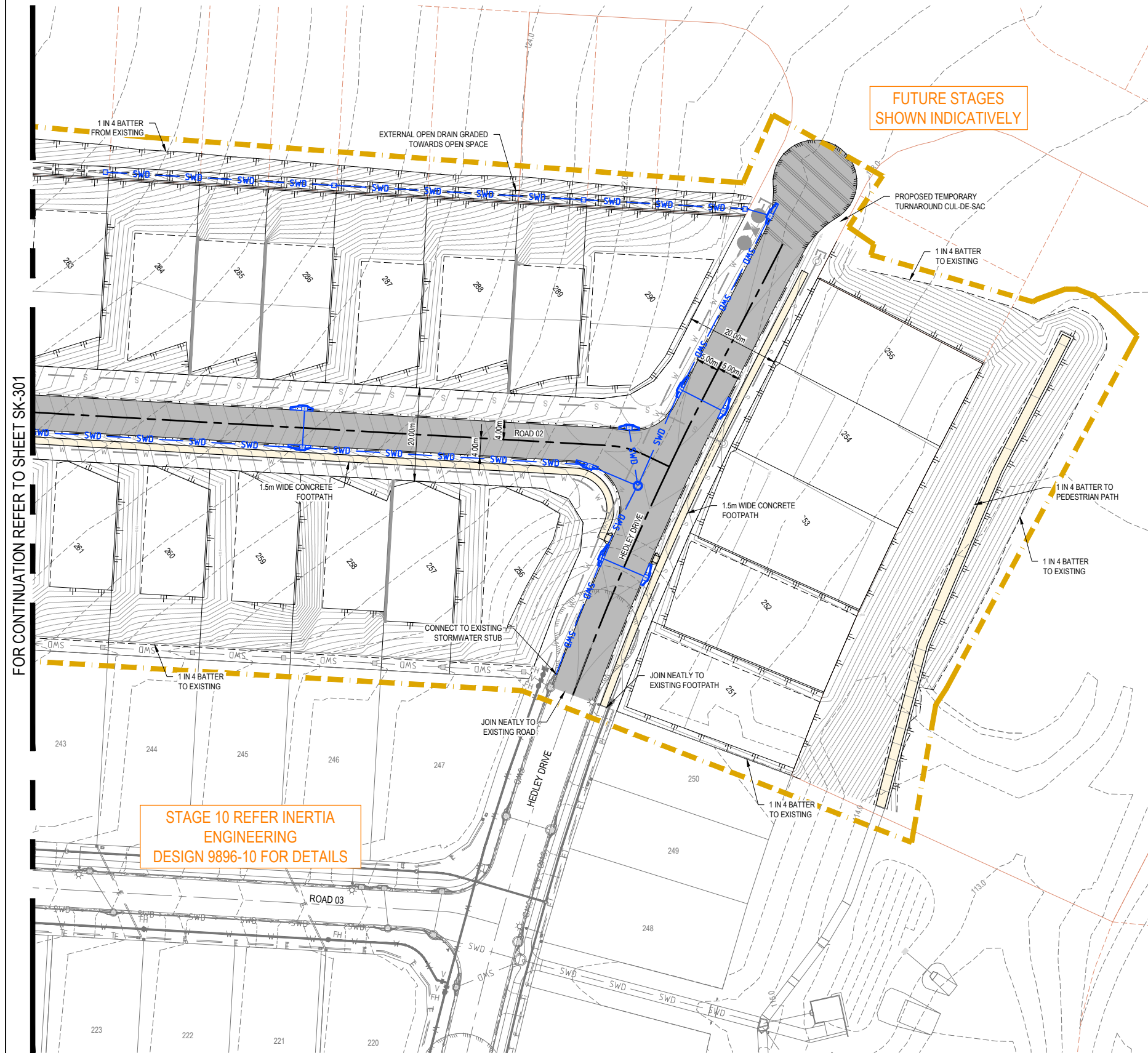
NORTH POINT:

SCALE BARS:
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SCALE 1:500 (A1) 1:1000 (A3)
THIS DRAWING IS TO BE PRINTED IN COLOUR REPRODUCTION OR READING OF THIS DRAWING IN OTHER THAN FULL COLOUR MAY IMPART FALSE OR MISLEADING INFORMATION

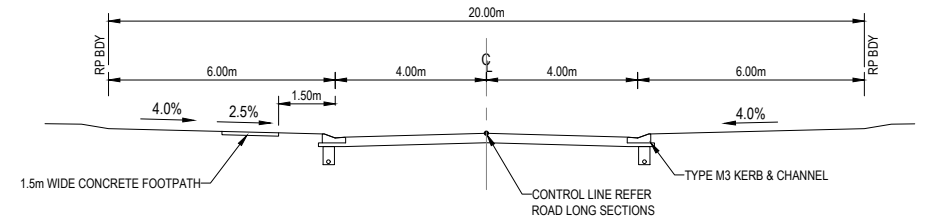
PROJECT: **HEDLEY PARK ESTATE STAGE 11**
DRAWING TITLE: **ROADWORKS CONCEPT LAYOUT PLAN SHEET 1**

FOR INFORMATION
JOB No: 9896-1101 DWG No: SK-301 REV: B
48

FOR CONTINUATION REFER TO SHEET SK-302



TYPICAL 20m COLLECTOR STREET SECTION
(HEDLEY DRIVE AND ROAD 05) SCALE 1:100



TYPICAL 20m ACCESS STREET SECTION
(ROAD 04, ROAD 06) SCALE 1:100

NOTE
THE STORMWATER DRAINAGE LAYOUT SHOWN ON THIS PLAN IS TO DEMONSTRATE SERVICEABILITY AND CLEARANCE OF PROPOSED SERVICES ONLY. REFER TO SK007 FOR ROADWORK AND DRAINAGE PLAN

LEGEND	
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	EXISTING CONTOURS (AT 1.00m INTERVALS)
	DESIGN CONTOURS (AT 0.25m INTERVALS)
	EXISTING KERB
	EXISTING ROAD CENTRELINE
	EXISTING EDGE OF BITUMEN
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING WATER
	EXISTING BATTER TOP
	EXISTING BATTER TOE
	PROPOSED BATTER TOP
	PROPOSED BATTER TOE
	PROPOSED KERB
	PROPOSED EDGE OF BITUMEN
	PROPOSED ROAD CENTRELINE
	PROPOSED STORMWATER DRAINAGE
	EXTENT OF WORKS
	PROPOSED TEMPORARY PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED FOOTPATH

FOR CONTINUATION REFER TO SHEET SK-301

STAGE 10 REFER INERTIA
ENGINEERING
DESIGN 9896-10 FOR DETAILS

DESIGNER BENJAMIN M.					
DRAFTING QA DIEGO M.					
DESIGN QA BENJAMIN M.					
QA CHECKED MATT LLEWELYN					
REV	DESCRIPTION	DATE	DRAWN	REVIEW	
B	ISSUE FOR DA APPROVAL	12.06.24	BCM	ML	
A	FOR INFORMATION	07.06.24	DM	ML	

Inertia
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E-mail: info@inertiaeng.com.au
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CLIENT:
QPM
PROPERTIES

ESTATE
HEDLEY PARK

NORTH POINT:

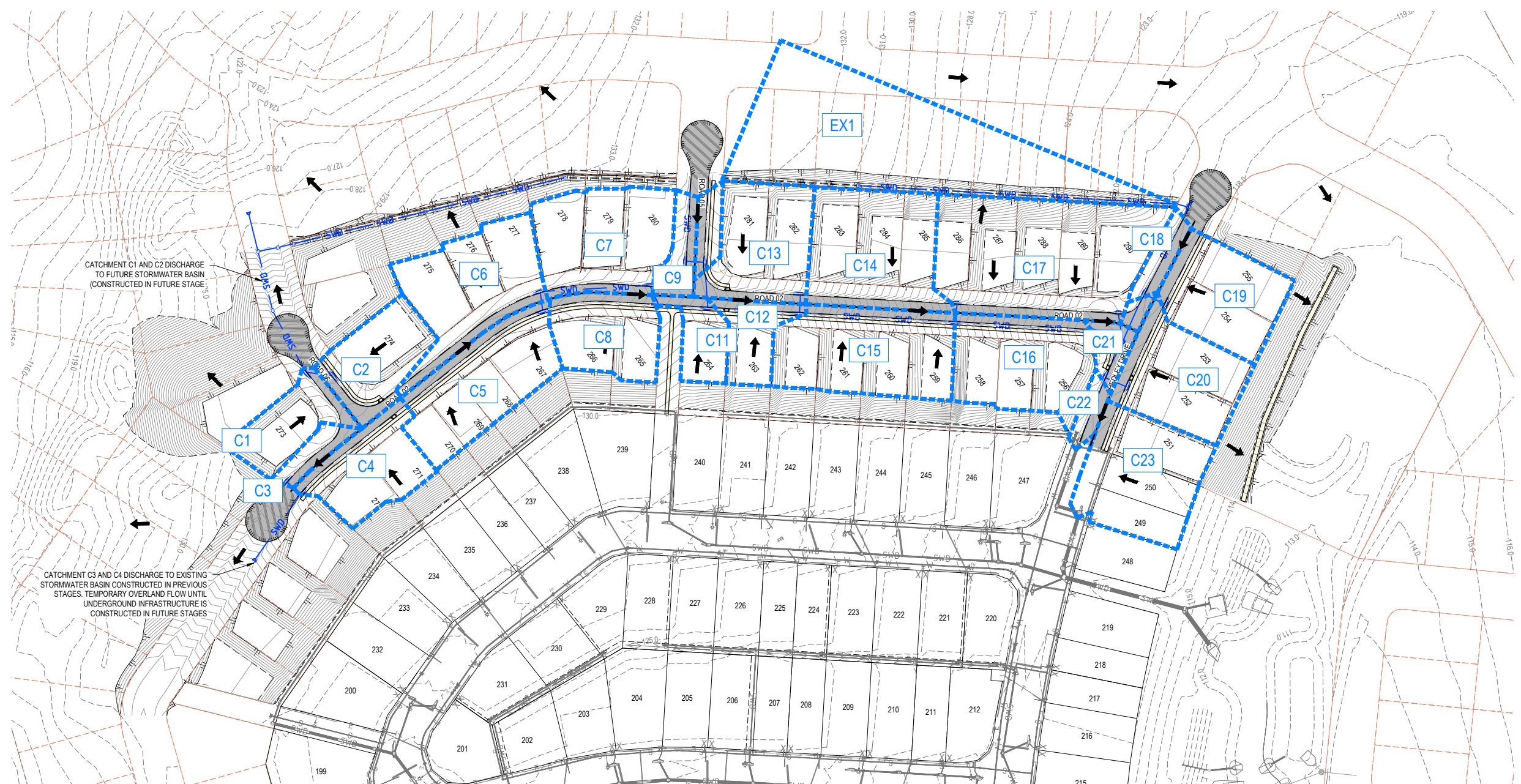
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SCALE 1:500 (A1) 1:1000 (A3)
THIS DRAWING IS TO BE PRINTED IN COLOUR. REPRODUCTION OR READING OF THIS DRAWING IN OTHER THAN FULL COLOUR MAY IMPART FALSE OR MISLEADING INFORMATION

PROJECT:
HEDLEY PARK ESTATE
STAGE 11
DRAWING TITLE:
ROADWORKS
CONCEPT LAYOUT PLAN
SHEET 2

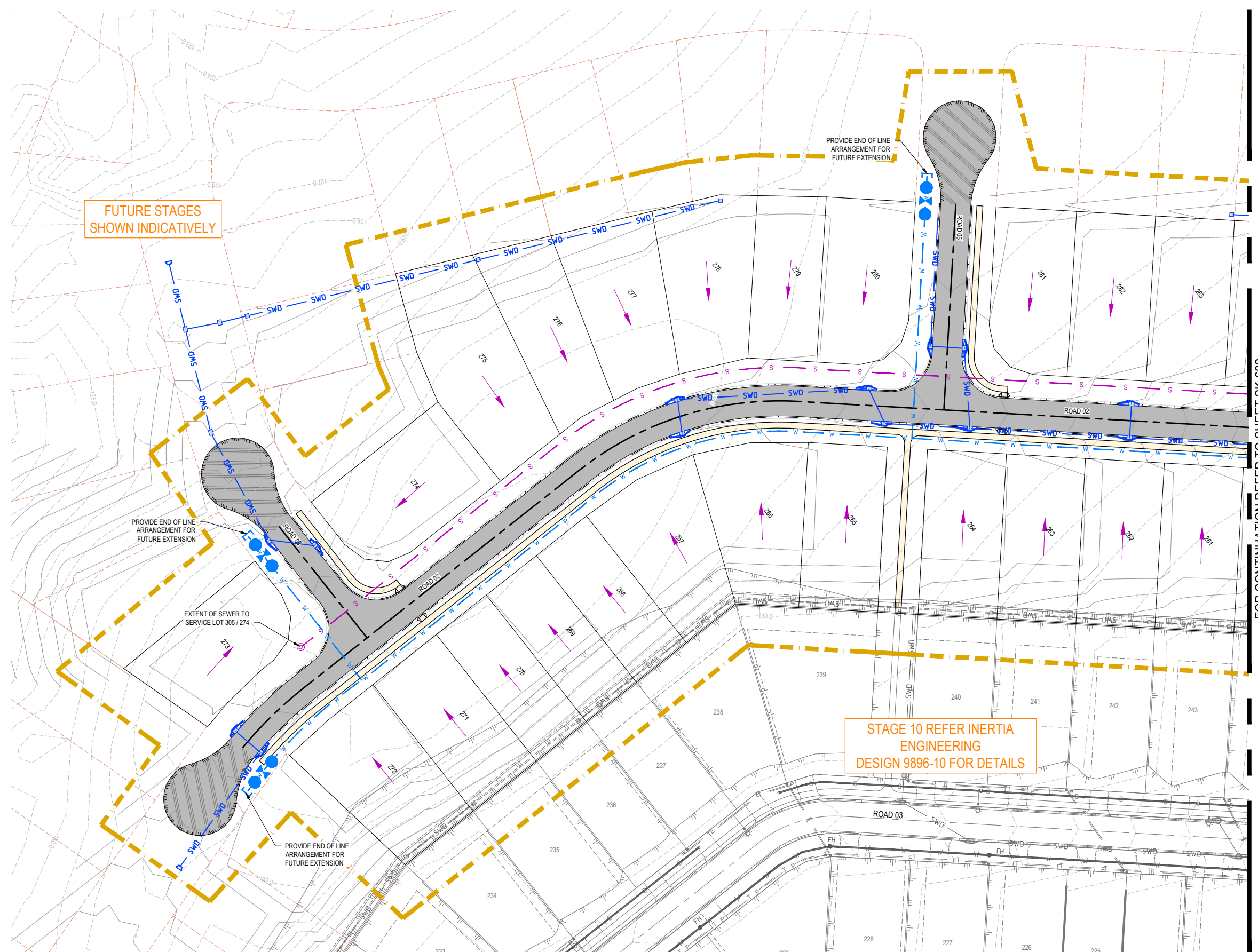
FOR INFORMATION
JOB No DWG No REV
9896-1101 - SK-302 - B
49

This topographic map illustrates a residential development site. The map features numerous contour lines indicating elevation, with labels ranging from 116.0 to 134.0. A network of roads is shown, including ROAD 01, ROAD 02, ROAD 03, and HEDLEY DRIVE. The site is divided into lots, many of which are numbered (e.g., 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 182, 183, 184, 185, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250). Two specific areas are highlighted with blue dashed lines and labeled: EX1 and EX2. Two orange boxes provide references for engineering designs: "STAGE 10 REFER INERTIA ENGINEERING DESIGN 9896-10 FOR DETAILS" and "STAGE 09 REFER INERTIA ENGINEERING DESIGN 9896-09 FOR DETAILS". A red dot labeled "EPOD" is located on the right side of the map. Black arrows indicate the direction of flow or drainage across the site.

[illegible]



FOR INFORMATION		
JOB No	DWG No	REV
9896-1101	- SK-501	- C
51		



FOR INFORMATION		
JOB No	DWG No	REV
9896-1101	- SK-601	- B
52		



Appendix C – Electrical and Communications DBYD Records

[Review responses online](#) ↗



Received 3 of 3 responses
All responses received

23 Overlander Avenue, Woolmar QLD 4515

Job dates
11/06/2024 → 18/06/2024

These plans expire on
9 Jul 2024

Lodged by
Alex Turner

Authority	Status	Page
 BYDA Confirmation		2
 Energex QLD	Received	4
 Queensland Urban Utilities	Received	14
 Telstra QLD Regional	Received	19



Contact Details

Contact	Contact number	Company	Enquirer ID
Alex Turner	(07) 3857 7868	Inertia engineering	3558357
Email		Address	
alex.t@inertiaeng.com.au		139 Coronation Drive Milton QLD 4064	

Job Site and Enquiry Details

WARNING: The map below only displays the location of the proposed job site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.

Enquiry date	Start date	End date	On behalf of	Job purpose	Locations	Onsite activities
11/06/2024	11/06/2024	18/06/2024	Private	Design	Private	Planning & Design, Subdivision



Check that the location of the job site is correct. If not, you must submit a new enquiry.

If the scope of works change or plan validity dates expire, you must submit a new enquiry.

Do NOT dig without plans. Safe excavation is your responsibility. If you don't understand the plans or how to proceed safely, please contact the relevant asset owners.

User Reference	Address	Notes/description
9896-11	23 Overlander Avenue Woolmar QLD 4515	-

Your Responsibility and Duty of Care

- **Lodging an enquiry does not authorise project commencement.** Before starting work, you must obtain all necessary information from all affected asset owners.
- If you don't receive plans within 2 business days, contact the asset owner & quote their sequence number.
- Always follow the 5Ps of Safe Excavation (page 2), and locate assets before commencing work.
- Ensure you comply with State legislative requirements for Duty of Care and safe digging.
- If you damage an underground asset, you MUST advise the asset owner immediately.
- By using the BYDA service, you agree to the [Privacy Policy](#) and [Term of Use](#).
- For more information on safe digging practices, visit www.byda.com.au

Asset Owner Details

Below is a list of asset owners with underground infrastructure in and around your job site. It is your responsibility to identify the presence of these assets. Plans issued by Members are indicative only unless specified otherwise. Note: not all asset owners are registered with BYDA. You must contact asset owners not listed here directly.

Referral ID (Seq. no)	Authority Name	Phone	Status
240395125	Energex QLD	13 12 53	NOTIFIED
240395126	Queensland Urban Utilities	13 26 57	NOTIFIED
240395124	Telstra QLD Regional	1800 653 935	NOTIFIED

END OF UTILITIES LIST



Plan

Plan your job. Use the BYDA service at least one day before your job is due to begin, and ensure you have the correct plans and information required to carry out a safe project.



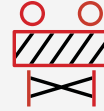
Prepare

Prepare by communicating with asset owners if you need assistance. Look for clues onsite. Engage a skilled Locator.



Pothole

Potholing is physically sighting the asset by hand digging or hydro vacuum extraction.



Protect

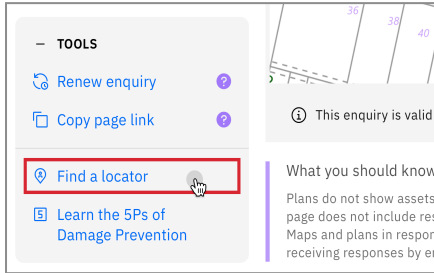
Protecting and supporting the exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk and enforce exclusion zones.



Proceed

Only proceed with your excavation work after planning, preparing, potholing (unless prohibited), and having protective measures in place.

Engage a skilled Locator



When you lodge an enquiry you will see skilled Locators to contact

Visit the Certified Locator website directly and search for a locator near you

dbydlocator.com/certified-locating-organisation

Book a FREE BYDA Session



BYDA offers two different sessions to suit you and your organisation's needs. The free sessions are offered in two different formats - online and face-to-face:

1. **Awareness Session:** Understand the role of BYDA, safe excavation practices, complying with asset-owner instructions, and the consequences of damages. Learn how to mitigate and avoid potential damage and harm and ensure a safe work environment.
2. **Plan Reading Session:** Develop the skills to interpret asset owners' plans, legends, and symbols effectively. Understand the complexities of plan interpretation to ensure smooth project execution.

To book a session, visit:

byda.com.au/contact/education-awareness-enquiry-form/

BOOK NOW

Referral

240395125

Member Phone

13 12 53

Responses from this member

Response received Tue 11 Jun 2024 8.29pm

File name	Page
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BYDA Symbolology Legend.pdf	7
Energex BYDA Terms and Conditions.pdf	8
240395125 - Energex Overview Plan.pdf	13

No Assets recorded

BYDA Request

Please DO NOT SEND A REPLY to this email as it has been automatically generated and replies are not monitored.

Our search has revealed within the nominated search area, ENERGEX does not have any Underground Assets recorded.

A detailed plan has not been provided.

You:	BYDA Enquiry No:
Alex Turner	240395125
Company:	Date of Response:
Inertia engineering	11 Jun 2024
Search Location:	Period of Plan Validity:
23 Overlander Avenue	
Woolmar,	4 Weeks
QLD 4515	

External Comments (if any):

WARNING: When working in the vicinity of Energex's assets you have a legal *Duty of Care* that must be observed.

It is important that You note:

1. Immediately report life threatening emergencies to Emergency Services on **000** or to ENERGEX on **on 13 19 62**.
2. Please read and understand all the information and disclaimers provided - including the Terms and Conditions on the attached pages.
3. We have only searched the area which has been nominated in the request. If this nominated area is not what You require, please resubmit another enquiry with **BYDA**.
4. Plans provided by ENERGEX are only an indication of the presence of underground assets within the nominated area. Locations provided are approximate and the plans are not suitable for scaling purposes, as exact ground cover and alignments cannot be provided. You must confirm the exact location of underground electrical equipment by use of an electronic cable locator followed by careful, non-mechanical excavation (ie, potholing).
5. Plans provided by ENERGEX do not encompass Energex's overhead Network.
6. Energex, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and details supplied pursuant to the BYDA Request and You agree to indemnify ENERGEX against any claim or demand for any such loss or damage to You, your servants or your agents.
7. You are responsible for any damage to underground electrical equipment caused by works pursuant to or in any way connected with this BYDA Request.
8. In addition to underground cables marked on attached plan, there could be underground earth conductors, underground substation earth conductors, M.E.N conductors, S.W.E.R Substation Earth Conductors, ABS Earth Mats or Consumer Mains in the vicinity or private underground cables (inc. consumers' mains that may run from ENERGEX mains onto private property) in the vicinity of the nominated work area(s) that are not marked on the plans.
9. Independent underground cable locators can be found via the [BYDA Certified Locator website](#)
10. The ENERGEX Before You Dig Australia information map(s) provide the vicinity of underground cable and will not be adequate for conveyancing purposes. A Request for Search (Property Search) can be arranged through ENERGEX.
11. The attached plans are only valid for a period of four weeks from receipt. If excavation does not commence within four weeks, a new plan should be obtained.

12. The Energex BYDA map (named maps.pdf) may contain shaded area(s), indicating the location of planned work(s). This polygon will note the planned work project number in the centre of the shaded area(s). This number will correspond with additional pdf attachments, if they have been included. Should you find a planned works plan not attached that You believe may affect your planned work(s), please contact the Energex BYDA team on the details listed below.
13. ENERGEX may contact You to discuss your proposed excavation in the vicinity of feeders identified on the attached plan(s).
14. Do not access or enter the exclusion zone of any underground electrical assets. For example, conduits, cables, pits, cabinets.
15. Your work will need to comply with the [Working near overhead and underground electric lines - Electrical safety code of practice 2020](#).



General enquiries (7:00am - 5:30pm Mon to Fri) 13 12 53
 Life threatening emergencies only triple zero (000) or 13 19 62

To re-submit or change the nominated search area please visit
smarterwx.BYDA.com.au

E: custserve@energex.com.au W: energex.com.au/lualmap
 E: BYDA@energex.com.au ABN: 40 078 849 055



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If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#).



Compiled with **TicketAccess** by PelicanCorp





BYDA SYMBOLLOGY LEGEND

	Cross Bonding Link Box - Critical		Planned Cross Bonding Link Box - New/Updated
	Disconnect Box - Critical		Planned Cross Bonding Link Box - Remove
	Ring Main Unit		Planned Disconnect Box - New/Updated
	Distribution Pad Substation		Planned Disconnect Box - Remove
	Earth		Planned Distribution Pad Substation - New/Updated
	Remote Earth		Planned Distribution Pad Substation - Remove
	Cable Marker		Planned Distribution Ground Substation - New/Updated
	Handhole		Planned Distribution Ground Substation - Remove
	Manhole		Planned Ring Main Unit - New/Updated
	Commercial Industrial Pillar		Planned Ring Main Unit - Remove
	Distribution Cabinet		Planned Earth - New/Updated
	Link Pillar		Planned Earth - Remove
	Service Pillar		Planned Cable Marker - New/Updated
	Feeder Pillar		Planned Cable Marker - Remove
	Pole		Planned Remote Earth - New/Updated
	Streetlight Column		Planned Remote Earth - Remove
	Communication Junction Pillar		Planned Underground Warning Post - New/Updated
	Communication Pit		Planned Underground Warning Post - Remove
	Fibre Patch Panel		Planned Pilot Cubicle - New/Updated
	Pilot Cubicle		Planned Pilot Cubicle - Remove
	Underground Asset 33kV and above		Planned Fibre Patch Panel - New/Updated
	Underground Asset below 33kV		Planned Fibre Patch Panel - Remove
	Underground Conduit with or without cable		Planned Commercial Industrial Pillar - New/Updated
	Pit		Planned Commercial Industrial Pillar - Remove
	Communication Boundary		Planned Distribution Cabinet - New/Updated
	Reserve (RE)		Planned Distribution Cabinet - Remove
	Water Resource (WR)		Planned Link Pillar - New/Updated
	Cadastral Parcels		Planned Link Pillar - Remove
	Planned Jointing Pit - New/Updated		Planned Service Pillar - New/Updated
	Planned Jointing Pit - Remove		Planned Service Pillar - Remove
	Planned Communication Boundary - New/Updated		Planned Pole - New/Updated
	Planned Communication Boundary - Remove		Planned Pole - Remove
	Planned Tunnel/Trench/Bore - New/Updated		Planned Manhole - New/Updated
	Planned Tunnel/Trench/Bore - Remove		Planned Manhole - Remove
			Planned Streetlight Column - New/Updated
			Planned Streetlight Column - Remove
			Planned Handhole - New/Updated
			Planned Handhole - Remove
			Planned Communication Junction Pillar - New/Updated
			Planned Communication Junction Pillar - Remove

BYDA terms and conditions

Duty of care for everyone



Responsibilities – (When Working in the Vicinity of Energex Electrical Equipment)

Extreme care must be taken during non-mechanical or mechanical excavation as damage to Energex underground electrical equipment can lead to injury or death of workers or members of the public. Electrical equipment includes underground cables, conduits and other associated underground electrical equipment used for controlling, generating, supplying, transforming or transmitting electricity.

A person conducting a business or undertaking (PCBU) must ensure the person's business or undertaking is conducted in a way that is electrically safe. This includes:

- a) ensuring that all electrical equipment used in the conduct of the person's business or undertaking is electrically safe;
- b) if the person's business or undertaking includes the performance of electrical work, ensuring the electrical safety of all persons and property likely to be affected by the electrical work; and
- c) if the person's business or undertaking includes the performance of work, whether or not electrical work, involving contact with, or being near to, exposed parts, ensuring persons performing the work are electrically safe.

In addition, a PCBU at a workplace must ensure, so far as is reasonably practicable, that no person, plant or thing at the workplace comes within an unsafe distance of an underground electric line.

Workers and other persons must also take reasonable care for their own and other person's electrical safety. This includes complying, so far as is reasonably able, with any reasonable instructions given by Energex to ensure compliance with the [Electrical Safety Act 2002](#)

BYDA terms and conditions

Duty of care for everyone

The following matters must be considered when working near Energex electrical equipment:

The PCBU must ensure, so far as is reasonably practicable, that no person, plant or thing at the workplace comes within an unsafe distance of an underground electric line (see section 68 of the [Electrical Safety Regulation 2013](#))

1. It is the responsibility of the architect, consulting engineer, developer, and head contractor in the project planning stages to design for minimal impact and protection of Energex electrical equipment.
2. It is the constructor's responsibility to:
 - a) Anticipate and request plans of Energex electrical equipment for a location at a reasonable time before construction begins.
 - b) Visually locate Energex electrical equipment by hand or vacuum excavation where construction activities may damage or interfere with Energex electrical equipment.
 - c) To notify Energex if the information provided is found to be not accurate or assets are found on site that are not recorded on the Energex BYDA plans.
 - d) Read and understand all the information and disclaimers provided.

Note: A constructor may include but not limited to a PCBU, Designer, Project Manager, Installer, Contractor or a Civil Contractor

3. Comply with applicable work health and safety and electrical safety codes of practice including but not limited to:
 - a) Working near overhead and underground electric lines – [Electrical safety codes of practice 2020](#)
 - b) Managing electrical risk in the workplace – [Electrical safety code of practice 2013](#)
 - c) Managing the risks of plant in the workplace – [Electrical safety code of practice 2013](#)
 - d) Excavation work – [Electrical safety code of practice 2013](#)

IMPORTANT NOTES:

- As the alignment and boundaries of roadways with other properties (and roads within roadways) frequently change, the alignments and boundaries contained within Energex plans and maps will frequently differ from present alignments and boundaries “on the ground”. Accordingly, in every case where it appears that alignments and boundaries have shifted, or new roadways have been added, the constructor should obtain confirmation of the actual position of Energex cables and pipelines under the roadways. In no case should the constructor rely on statements of third parties in relation to the position of Energex cables and pipelines. It is the applicant's responsibility to accurately locate all services as part of the design and/or prior to excavation.
- Energex does not provide information on private underground installations, including consumers' mains that may run from Energex mains onto private property. Assets located on private property are the responsibility of the owner for identification and location.
- Energex plans are circuit diagrams or pipe indication diagrams only and indicate the presence of plant in the general vicinity of the geographical area shown. Exact ground cover and alignments cannot be given with any certainty; as such levels can change over time.
- All underground conduits are presumed to contain asbestos. Refer to “Code of Practice for the Management and Control of Asbestos in Workplaces [NOHSC: 2018 (2005)] - https://www.safeworkaustralia.gov.au/system/files/documents/1702/codeofpracticeformanagementcontrolofasbestosintheworkplace_nohsc2018-2005
- Plans provided by Energex do not show the presence of any Overhead Network
- In addition to underground cables marked on attached plan there may be underground Earth Conductors in the vicinity of the nominated work area(s) that are not marked on the plans.
- There may also be other buried assets such as tanks for fluid filled cables that do not appear on GIS plots but are shown on detailed as constructed drawings.
- Being aware of your obligations in [s 304] Excavation work— underground essential services information under the [Work Health and Safety Regulation 2011](#), Chapter 6 Construction work, Part 6.3 Duties of person conducting business or undertaking. This includes but is not limited to taking reasonable steps to obtain the current information & providing this information to persons engaged to carry out the excavation work. For further information please refer to: - <http://www.legislation.qld.gov.au/LEGISLTN/SLs/2011/11SL240.pdf>
- Energex plans are designed to be printed in colour and as an A4 Landscape orientation

BYDA terms and conditions

Duty of care for everyone

Conditions – (When Working in the Vicinity of Energex Electrical Equipment)

Records:

The first step before any excavation commences is to obtain records of Energex plant in the vicinity of the work. For new work, records should be obtained during the planning and design stage. The records provided by Energex must be made available to all construction groups on site. Where plant information is transferred to plans for the proposed work, care must be exercised to ensure that important detail is not lost in the process.

Plans and or details provided by Energex are current for four weeks from the date of dispatch and should be disposed of by shredding or any other secure disposal method after use. A new BYDA enquiry must be made for proposed works/activities to be undertaken outside of the four-week period.

Energex retains copyright of all plans and details provided in connection with your request. Energex plans or other details are provided for the use of the applicant, its servants, or agents, and shall not be used for any unauthorised purpose. On receipt of BYDA plans and before commencing excavation work or similar activities near Energex's plant, check to see that it relates to the area you have requested and carefully locate this plant first to avoid damage. If you are unclear about any information contained in the plan, please contact Energex on the General Enquiries number listed above for further advice.

Energex, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Energex against any claim or demand for any such loss or damage.

The constructor is responsible for all plant damages when works commence prior to obtaining Energex plans, or failure to follow agreed instructions, or failure to demonstrate all reasonable measures were taken to prevent the damage once plans were received from Energex. Energex reserves all rights to recover compensation for loss or damage caused by interference or damage, including consequential loss and damages to its cable network, or other property.

NOTE: Where your proposed work location contains Energex 33kV or greater Underground cables please access the [Energex Working Near Underground Cables 33kV or Higher web page](#) for more information.

Location of Cables:

Examining the records is not sufficient, as reference points may change from the time of installation. Records must also be physically proven when working in close proximity to them. The exact location of plant likely to be affected shall be confirmed by use of an electronic cable and pipe locator followed by **careful hand or vacuum excavation to the level of cable protection cover strips or conduits**. When conducting locations, please be aware that **no** unauthorised access is permitted to Energex Assets– including Pits, Low Voltage Disconnection Boxes, Low Voltage Pillars or High Voltage Link Boxes.

Hand or vacuum excavation must be used in advance of excavators. In any case, where any doubt exists with respect to interpretation of cable records, contact Energex on the General Enquires number listed above for further advice.

If the constructor is unable to locate Energex underground assets within 5 metres of nominal plan locations, they should contact the Energex General Enquires number listed above for further advice.

If unknown cables or conduits (i.e. not shown on issued BYDA plans) are located during excavation:

1. Call the ELECTRICITY EMERGENCIES number listed above
2. Treat cables as if alive, post a person to keep all others clear of the excavation until Energex crew attend to make safe.
3. All work in the vicinity of damaged plant should cease and the area should be vacated until a clearance to continue work has been obtained from an Energex officer.

Electrical Cable Installation Methods:

Energex cables are installed with a variety of protection devices including:

- | | |
|---|---------------------------------------|
| 1. Clay paving bricks or tiles marked "Electricity" or similar (also unmarked) | 2. Concrete or PVC cover slabs |
| 3. PVC, A/C or fibro conduit, fibre reinforced concrete, iron or steel pipe | 4. Concrete encased PVC or steel pipe |
| 5. Thin plastic marker tape | 6. Large pipes housing multiple ducts |
| 7. Multiple duct systems, including earthenware or concrete 2-, 4-, and 6-way ducts and shamrocks | |

Note: Some cables are known to be buried without covers and cables may change depth or alignment along the route.

Excavating Near Cables:

For all work within 2.5 m of nominal location, the constructor is required to hand or vacuum excavate (pothole) and expose the plant, hence proving its exact location before work can commence.

Cable protection cover strips shall not be disturbed. Excavation below these cover strips, or into the surrounding backfill material is not permitted.

BYDA terms and conditions

Duty of care for everyone

Excavating Parallel to Cables:

If construction work is parallel to Energex cables, then hand or vacuum excavation (potholing) at least every 4 m is required to establish the location of all cables, hence confirming nominal locations before work can commence. *Generally, there is no restriction to excavations parallel to Energex cables to a depth not exceeding that of the cable. **Note: Cable depths & alignment may change suddenly.***

Separation from Cables:

Any service(s) must be located at the minimum separation as per the tables below:

Table 1. Minimum Separation Requirements for Underground Services Running Parallel with Energex Assets

(Minimum Separation required in mm)							
Voltage Level	Gas	Communication or TV	Water		Sanitary drainage		Storm Water
			≤DN 200	>DN200	≤DN 200	>DN 200	
LV	250	100	500	*1000	500	1000	500
HV		300					
*Contact Energex/council to obtain specific separation distances							

Table 2. Minimum Separation Requirements for Underground Services Crossing Energex Assets

(Minimum Separation required in mm)					
Voltage Level	Gas	Communication or TV	Water	Sanitary drainage	Storm Water
LV & HV	100	100	300	300	100

Where the above table does not list a separation requirement for a particular underground service then 300mm shall be used.

Excavating Across Cables:

The standard clearance between services shall be maintained as set down in Table 2 above. If the width or depth of the excavation is such that the cables will be exposed or unsupported, then Energex shall be contacted to determine whether the cables should be taken out of service, or whether they need to be protected or supported. In no case shall a cable cover be removed without approval. A cable cover may only be removed under the supervision of an Energex authorised representative. Protective cover strips when removed must be replaced under Energex supervision. Under no circumstances shall they be omitted to allow separation between Energex cables and other services.

Heavy Machinery Operation Over Cables:

Where heavy "Crawler" or "Vibration" type machinery is operated over the top of cables, a minimum cover of 450 mm to the cable protective cover mains must be maintained using load bearing protection whilst the machinery is in operation. For sensitive cables (i.e. 33 and 110kV fluid and gas filled cables), there may be additional constraints placed on vibration and settlement by Energex.

Directional Boring Near Cables:

When boring parallel to cables, it is essential that trial holes are carefully hand or vacuum excavated at regular intervals to prove the actual location of the conduits/cables before using boring machinery. Where it is required to bore across the line of cables, the actual location of the cables shall first be proven by hand or vacuum excavation. A trench shall be excavated one metre from the side of the cables where the auger will approach to ensure a minimum clearance of 500mm above and below all LV, 11kV, 33kV & 110/132kV cables shall be maintained.

Explosives:

Explosives must not be used within 10 metres of cables, unless an engineering report is provided indicating that no damage will be sustained. Clearances should be obtained from Energex's Planning Engineer for use of explosives in the vicinity of Energex cables.

Damage Reporting:

All damage to cables, conduits and pipes must be reported no matter how insignificant the damage appears to be. Even very minor damage to cable protective coverings can lead to eventual failure of cables through corrosion of metal sheaths and moisture ingress.

If any Damaged conductor is found:

1. Call the ELECTRICITY EMERGENCIES number listed above
2. Treat cables as if alive, post a person to keep all others clear of the excavation until Energex crew attend to make safe.
3. All work in the vicinity of damaged plant should cease and the area should be vacated until a clearance to continue work has been obtained from an Energex officer.

BYDA terms and conditions

Duty of care for everyone

Plant Solutions and Assistance:

If plant location plans or visual location of Energex plant by hand or vacuum excavation reveals that the location of Energex plant is situated wholly or partly where the developer or constructor plans to work, then Energex shall be contacted to assist with your development of possible engineering solutions.

If Energex relocation or protection works are part of the agreed solution, then payment to Energex for the cost of this work shall be the responsibility of the principal developer or constructor. Energex will provide an estimated quotation for work on receipt of the developer's or constructor's order number before work proceeds.

It will be necessary for the developer or constructor to provide Energex with a written Work Method Statement for all works in the vicinity of or involving Energex plant. This Work Method Statement should form part of the tendering documentation and work instruction.

Vacuum Excavations (Hydro Vac)

When operating hydro vac equipment to excavate in vicinity of underground electrical assets (cables/conduits):

Fitted with:

- Nonconductive (neoprene rubber or equivalent) vacuum (suction) hose.
- Oscillating nozzle on pressure wand with water pressure adjusted to not exceeding 2000 psi.

Maintain a minimum distance of 200mm between end of pressure wand and underground electrical assets. DO NOT insert the pressure wand jet directly into subsoil.

Ensure pressure wand is not directly aimed at underground electrical assets (cables/conduits).

Safety Notices (Underground Work)

There is no exclusion zone applicable for underground electrical assets – conduits, cables (unless cable is damaged, or conductors or terminations have been exposed) therefore there is **no requirement for a written Safety Advice** to be obtained provided the work location does not contain overhead electric lines or other exposed live parts.

Further information on Working Safely around Energex assets:

https://www.energex.com.au/_data/assets/pdf_file/0010/211231/Working-near-OH-UG-lines-BS001405R107ver2.pdf

Thank you for your interest in maintaining a safe and secure Electricity Distribution network. Energex welcomes your feedback on this document via email to dbyd@energex.com.au.

General enquiries (7am - 5pm Mon to Fri)

13 12 53

Life threatening emergencies only triple zero (000) or

13 19 62

E: custserve@energex.com.au

W: energex.com.au/lualmap

E: dbyd@energex.com.au

ABN: 40 078 849 055

To re-submit or change the nominated search area please visit www.BYDA.com.au



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations
please call 13 19 62



BYDA

Sequence: 240395125

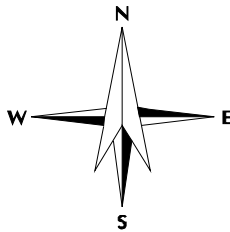
Date: 11/06/2024

Scale: 1:2296

OVERVIEW

For a full list of Map
Symbols, please
refer to the supplied
BYDA Symbolology
Legend page

AS5488 Category “D” Plan



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This output provides details of the ENERGEX electrical network. As variations map exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

Referral
240395126

Member Phone
13 26 57

Responses from this member

Response received Tue 11 Jun 2024 2.38pm

File name	Page
Response Body	15
Urban Utilities Important Information.pdf	17
240395126 - Urban Utilities Overview Plan.pdf	18



GPO Box 2765
Brisbane QLD 4001

Date: 11 Jun 2024

Before You Dig Australia Response

Please DO NOT SEND A REPLY to this email as it has been automatically generated and replies are not monitored.

Dear Alex Turner

We appreciate your diligence in contacting the Before You Dig Australia service (**BYDA**) prior to engaging in work or activities which may affect the water and sewerage infrastructure of Urban Utilities.

Job number:	36877448
Sequence number:	240395126
Enquiry date:	11/06/2024 2:35:00 PM
Enquiry Location:	23 Overlander Avenue Woolmar QLD 4515

WARNING: When working in the vicinity of Urban Utilities' assets you have a legal *Duty of Care* that must be observed.

We have completed a search for underground infrastructure based on the information provided in your **BYDA** request. Our records indicate that **we do not have infrastructure within your nominated search area**, as shown on the attached plan.

Please note that you may be liable for any loss or damage to our infrastructure which is caused by any works or activities which you undertake around or near such infrastructure. Additionally, your works or activities may conflict with other works scheduled in your nominated search area. To avoid any unnecessary impacts, you must obtain a Network Access Permit from us before undertaking any works or activities that are within two metres of our infrastructure.

We have provided additional information about your responsibilities in relation to our infrastructure in the Important Information sheet attached to this letter. By accessing BYDA to obtain our records about our infrastructure, you warrant that you have read the sheet and agree to the terms and conditions set out therein.

For further enquiries or assistance with interpretation of plans and search content please contact our BYDA Support Team by email networkaccess@urbanutilities.com.au. Alternatively, you can write to us at Urban Utilities, PO Box 2765, Brisbane QLD 4001.

Thank you for taking the time to consult the BYDA service.

Yours sincerely

Before You Dig Australia Support Team
Urban Utilities
networkaccess@urbanutilities.com.au

To best manage the risk of damage and liability, we recommend that you engage the services of a [BYDA Certified Locator](#)

Important Notice

This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the ~~BYDA~~ enquiry outlined above. **Please ensure that the ~~BYDA~~ enquiry details and this response accurately reflect your proposed works.**

This response is intended for use only by the addressee. If you have received the enquiry response in error, please let us know by telephone and delete all copies; you are advised that copying, distributing, disclosing or otherwise acting in reliance on the response is expressly prohibited.

Disclaimer: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Urban Utilities nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

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Compiled with TicketAccess by PelicanCorp



Important Information

Disclaimer

All Urban Utilities' records, data and information supplied via BYDA ("**Data**") is **indicative** only. You agree that any Data supplied to you has been or will be provided only for your convenience and has not been and will not be relied upon by you for any purpose.

You also agree that Urban Utilities does not assume any responsibility or duty of care in respect of, or warrant, guarantee or make any representation as to the Data (including its accuracy, reliability, currency or suitability).

Because the location of Urban Utilities' infrastructure shown on the Data is approximate only, you must first physically locate the infrastructure by utilising relevant site detection methodologies prior to performing any works or undertaking any activities near or adjacent to infrastructure. Possible site detection methodologies include hand digging, potholing, trenching and/or probing. You are solely responsible for the selection of appropriate site detection methodologies at all times.

To the fullest extent permitted by law, Urban Utilities will not be liable to you in contract, tort, equity, under statute or otherwise arising from or in connection with the provision of any Data to you via BYDA.

Compliance with laws

There may be both indicated and unmarked hazards, dangers or encumbrances, including underground asbestos pipes and abandoned mains within your nominated search area. You are solely responsible for ensuring that appropriate care is taken at all times and that you comply with all mandatory requirements relating to such matters, including in relation to workplace health and safety.

Damaged Infrastructure

Please note that it is an offence under Section 192 of the *Water Supply (Safety and Reliability) Act 2008* to interfere with our infrastructure without Urban Utilities' written consent.

You may be liable to Urban Utilities for any loss of or damage to our infrastructure, together with any consequential or indirect loss or damage (including without limitation, loss of use, loss of profits or loss of revenue) arising from or in connection with any interference with Urban Utilities' infrastructure by you or any other person for which you are legally responsible.

Any damage to Urban Utilities' Infrastructure must be reported immediately to the (24 Hours) Faults and Emergencies Team on 13 23 64.

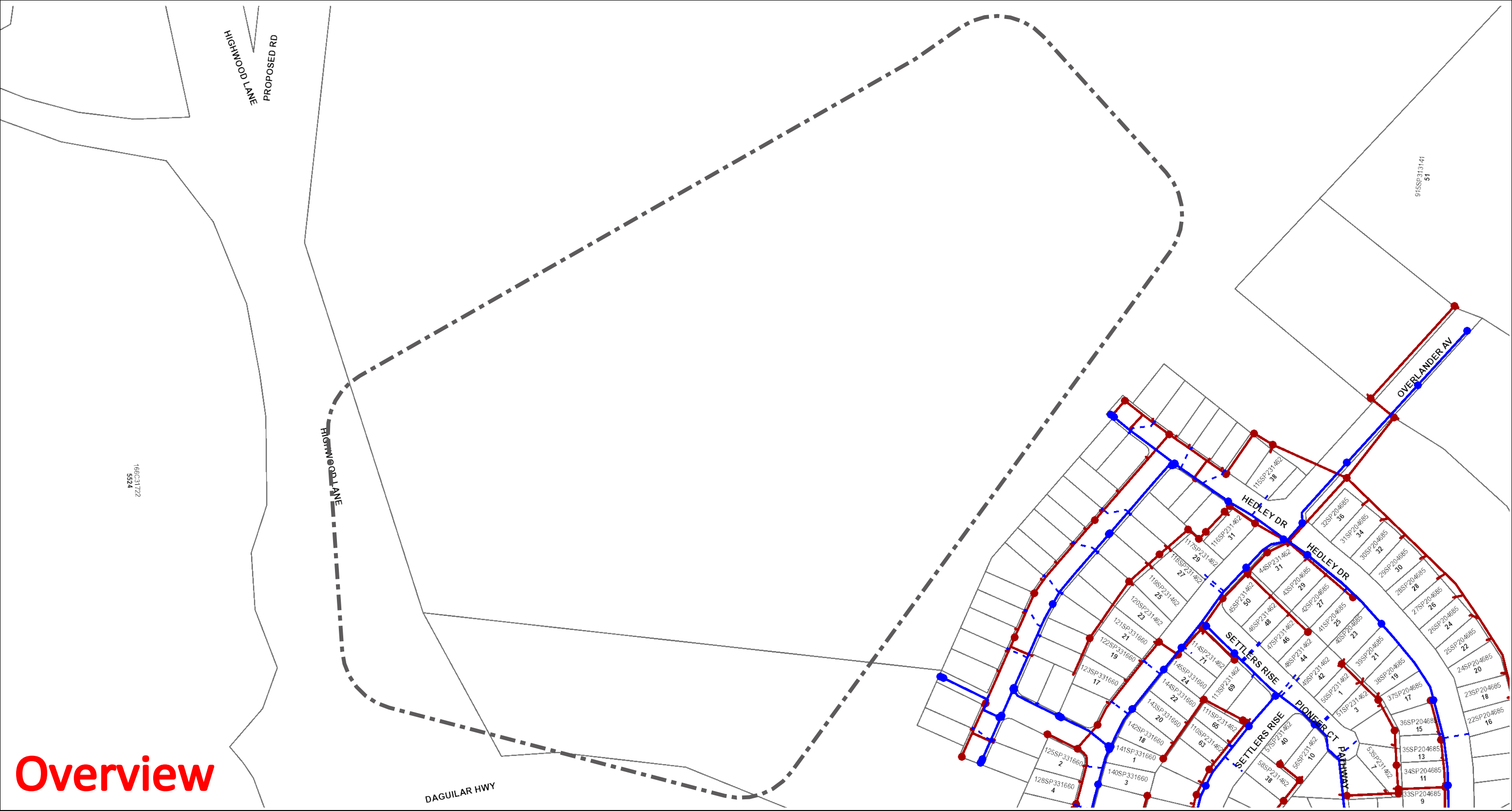
Links


Technical Standards: <https://urbanutilities.com.au/development/help-and-advice/standards-and-guidelines>

Copyright

All Data is copyright.

Urban Utilities - Water, Recycled Water and Sewer Infrastructure





Before You Dig Australia - Urban Utilities Water, Recycled Water and Sewer Infrastructure

BYDA Reference No: **240395126**

Date BYDA Ref Received: 11/06/2024

Date BYDA Job to Commence: 11/06/2024

Date BYDA Map Produced: 11/06/2024

This Map is valid for 30 days Produced By: Urban Utilities

Sewer

- Infrastructure
- ◆ Major Infrastructure
- Network Pipelines
- ▨ Network Structures

Water

- Infrastructure
- ◆ Major Infrastructure
- Network Pipelines
- ▨ Network Structures
- - - Water Service (Indicative only)

N

Map Scale
1:2928

While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Urban Utilities nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

The plans are indicative and approximate only and provided without warranties of any kind, express or implied including in relation to accuracy, completeness, correctness, currency or fitness for purpose.

Urban Utilities takes no responsibility and accepts no liability for any loss, damage, costs or liability that may be incurred by any person acting in reliance on the information provided on the plans.

This plan should be used as guide only. Any dimensions should be confirmed on site by the relevant authority.

Based on or contains data provided by the State of Queensland (Department of Natural Resources and Mines) [2020]. In consideration of the State permitting the use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws. © State of Queensland Department of Natural Resources and Mines [2020]

For further information, please call Urban Utilities on 13 26 57 (8am-6pm weekdays). Faults and emergencies 13 23 64 (24/7).

www.urbanutilities.com.au

ABN 86 673 835 011

Referral

240395124

Member Phone

1800 653 935

Responses from this member

Response received Tue 11 Jun 2024 2.40pm

File name	Page
Response Body	20
Telstra Duty of Care v31.4a.pdf	22
QLD REG_AccreditedPlantLocators 2021-09-22a.pdf	26
240395124.pdf	27
Telstra Map Legend v3_9a.pdf	29

Attention: Alex Turner

Site Location: 23 Overlander Avenue, Woolmar, QLD 4515

Your Job Reference: 9896-11

Please do not reply to this email, this is an automated message -

Thank you for requesting Telstra information via Before You Dig Australia (BYDA).

This response contains Telstra information relating to your recent BYDA request.

Information for opening Telstra Asset Plans as well as some other useful contact information is listed in the attached **Telstra Map Legend** **attached**.

Please refer to all enclosed attachments for more information.

Please Report Damage to Telstra Equipment: [Report damages to Telstra equipment - Telstra](#)

Please note:

When working in the vicinity of telecommunications plant you have a 'Duty of Care' that must be observed. Please ensure you read the 'Telstra Duty of Care' document (attached) - it contains important information including essential steps that must be undertaken prior to commencing construction activities.

WARNING - MAJOR CABLES and/or OPTIC FIBRE IN THE AREA.

Phone 1800 653 935 for further assistance.

Note: In some areas Telstra fibre routes may be marked as "Amcom", as Telstra has purchased much of this infrastructure. If in doubt, please contact Telstra Plan services on the number above. Telstra plans and information are only valid for 60 days from the date of issue.

WARNING:

Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing them. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra assets prior to commencing work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. See the [Steps - Working Near Telecommunications Assets \(attached Telstra Duty of Care\)](#).

Please note that:

- it is a criminal offence under the *Criminal Code Act 1995* (Cth) to tamper or interfere with telecommunications infrastructure.
- Telstra will take action to recover compensation for damage caused to property and assets, and for interference with the operation of Telstra's networks and customers' services.

Telstra's plans contain Telstra's confidential information and are provided on the basis that they are used solely for identifying the location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause Telstra loss or damage and you must comply with any other terms of access to the data that have been provided to you by Telstra (including Conditions of Use or Access).

(See attached file: Telstra Duty of Care v31.4a.pdf)

(See attached file: Telstra Map Legend v3_9a.pdf)

(See attached file: QLD REG_AccreditedPlantLocators 2021-09-22a.pdf)

(See attached file: 240395124.pdf)



Before You Dig Australia

Think before you dig

This document has been sent to you because you requested plans of the Telstra network through Before You Dig Australia (BYDA).

If you are working or excavating near telecommunications cables, or there is a chance that cables are located near your site, you are responsible to avoid causing damage to the Telstra network.

Please read this document carefully. Taking your time now and following the steps below can help you avoid damaging our network, interrupting services, and potentially incurring civil and criminal penalties.

Our network is complex and working near it requires expert knowledge. Do not attempt these activities if you are not qualified to do so.

Further Information



Cable Plan enquiries
1800 653 935 (AEST business hours only)



Telstra.Plans@team.telstra.com



Information on how to find cables and request asset relocations:
<https://www.telstra.com.au/consumer-advice/digging-construction>



Opening Digital Plan Attachments. Asset Plan Readers:

PDF [Adobe Acrobat Reader DC Install for all versions](#)
DWF Map Files (all sizes over A3)
[Autodesk Viewer \(Browser\)](#) or
[Autodesk Design Review](#) (Microsoft Windows)

Report any damage immediately



<https://www.telstra.com.au/forms/report-damage-to-telstra-equipment>



13 22 03
If you receive a message asking for an account or phone number say
"I Don't have one"
Then say, "Report Damage" and listen to the prompts.

Relocating Telstra Assets

If your project requires the relocation of a Telstra asset, please contact the Telstra Network Integrity Group:



1800 810 443 (AEST business hours only)



NetworkIntegrity@team.telstra.com

Never try to move or alter our network infrastructure without authorisation. By law, only authorised people can work on our assets or enter a facility owned or operated by us. Any interference, including unauthorised entry or tampering, may result in legal action.

Certified Locating Organisation (CLO)



Engage a CLO



Find your Closest CLO to identify, validate and protect Telstra Assets before you commence you work.
<https://dbydlocator.com/certified-locating-organisation/>



1. Plan

Plan your work with the latest plans of our network.

Plans provided through the BYDA process are indicative only*.

This means the actual location of our asset may differ substantially from that shown on the plans.

Refer to steps 2 and 3 to determine actual location prior to proceeding with construction.



2. Prepare

Engage a DBYD Certified Locating Organisation (CLO) via dbydlocator.com to identify, validate and protect Telstra assets before you commence work.



3. Pothole

Validate underground assets by potholing by hand or using non-destructive vacuum extraction methods.

Electronic detection alone (step 2) is not deemed to validate underground assets and must not be used for construction purposes.

If you cannot validate the Telstra network, you must not proceed with construction.



4. Protect

Protect our network by maintaining the following distances from our assets:

- › 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- › 500mm Vibrating Plate or Wacker Packer Compactor
- › 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant
- › 1.0m Jackhammers/Pneumatic Breakers
- › 2.0m Boring Equipment (in-line, horizontal and vertical)



5. Proceed

You can proceed with your work only once you have completed all the appropriate preparation, potholing and protection.

Disclaimer and legal details



*Telstra advises that the accuracy of the information provided by Telstra conforms to Quality Level D as defined in AS5488-2013.

It is a criminal offence under the Criminal Code Act 1995 (Cth) to tamper or interfere with telecommunications infrastructure.

Telstra will also take action to recover costs and damages from persons who damage assets or interfere with the operation of **Telstra's** networks.

By receiving this information including the indicative plans that are provided as part of this information package you confirm that you understand and accept the risks of working near **Telstra's** network and the importance of taking all of the necessary steps to confirm the presence, alignments and various depths of **Telstra's** network. This in addition to, and not in replacement of, any duties and obligations you have under applicable law.

When working in the vicinity of a telecommunications plant you have a "Duty of Care" that must be observed. Please read and understand all the information and disclaimers provided below.

The Telstra network is complex and requires expert knowledge to interpret information, to identify and locate components, to pothole underground assets for validation and to safely work around assets without causing damage. If you are not an expert and/or qualified in these areas, then you must not attempt these activities. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers. Construction activities and/or any activities that potentially may impact on Telstra's assets must not commence without first undertaking these steps. Construction activities can include anything that involves breaking ground, potentially affecting Telstra assets.

If you are designing a project, it is recommended that you also undertake these steps to validate underground assets prior to committing to your design.

This Notice has been provided as a guide only and may not provide you with all the information that is required for you to determine what assets are on or near your site of interest. You will also need to collate and understand all of the information received from other Utilities and understand that some Utilities are not a part of the BYDA program and make your own enquiries as appropriate. It is the responsibility of the entities undertaking the works to protect **Telstra's** network during excavation / construction works.

Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose.

Telstra plans or other details are provided only for the use of the applicant, its servants, agents, or Certified Locating Organisation. The applicant must not give the plans or details to any parties other than these and must not generate profit from commercialising the plans or details.

Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided always remains on-site throughout the inspection, location, and construction phase of any works.

Telstra plans are valid for 60 days after issue and must be replaced if required after the 60 days.

Data Extraction Fees

In some instances, a data extraction fee may be applicable for the supply of Telstra information. Typically, a data extraction fee may apply to large projects, planning and design requests or requests to be supplied in non-standard formats. For further details contact Telstra Planned Services.

Telstra does not accept any liability or responsibility for the performance of or advice given by a Certified Locating Organisation. Certification is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.

Neither the Certified Locating Organisation nor any of its employees are an employee or agent for Telstra. Telstra is not liable for any damage or loss caused by the Certified Locating Organisation or its employees.

Once all work is completed, the excavation should be reinstated with the same type of excavated material unless specified by Telstra

The information contained within this pamphlet must be used in conjunction with other material supplied as part of this request for information to adequately control the risk of potential asset damage.

When using excavators and other machinery, also check the location of overhead power lines.

Workers and equipment must maintain safety exclusion zones around power lines

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Privacy Note

Your information has been provided to Telstra by BYDA to enable Telstra to respond to your BYDA request. Telstra keeps your information in accordance with its privacy statement. You can obtain a copy at www.telstra.com.au/privacy or by calling us at 1800 039 059 (business hours only).



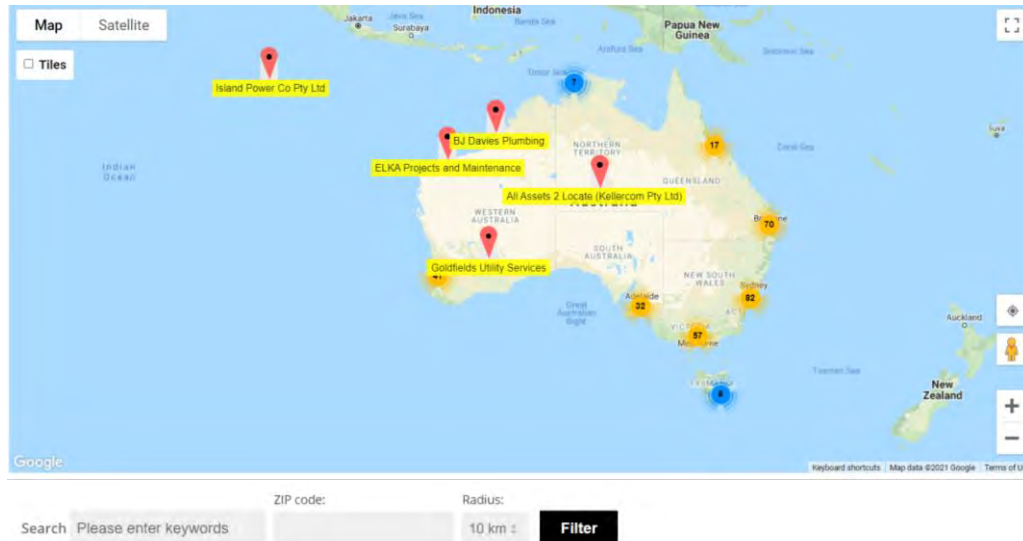
Certified Locating Organisations (CLO)


Find the closest CLO to your worksite on: <https://dbydlocator.com/certified-locating-organisation/>

Read the disclaimer and click:


Accept and Search Now

A national map and an A-Z list of Certified Locating Organisations is displayed.



Use the map to zoom to your work area and choose the closest  Locator indicated.

OR search by entering the **postcode** of your work area.

1. Enter the post/zip code
2. Choose your search radius
3. Click filter (If there is no result, you may have to increase the search radius)
4. Click on the closest  for CLO details or view the results displayed below the map



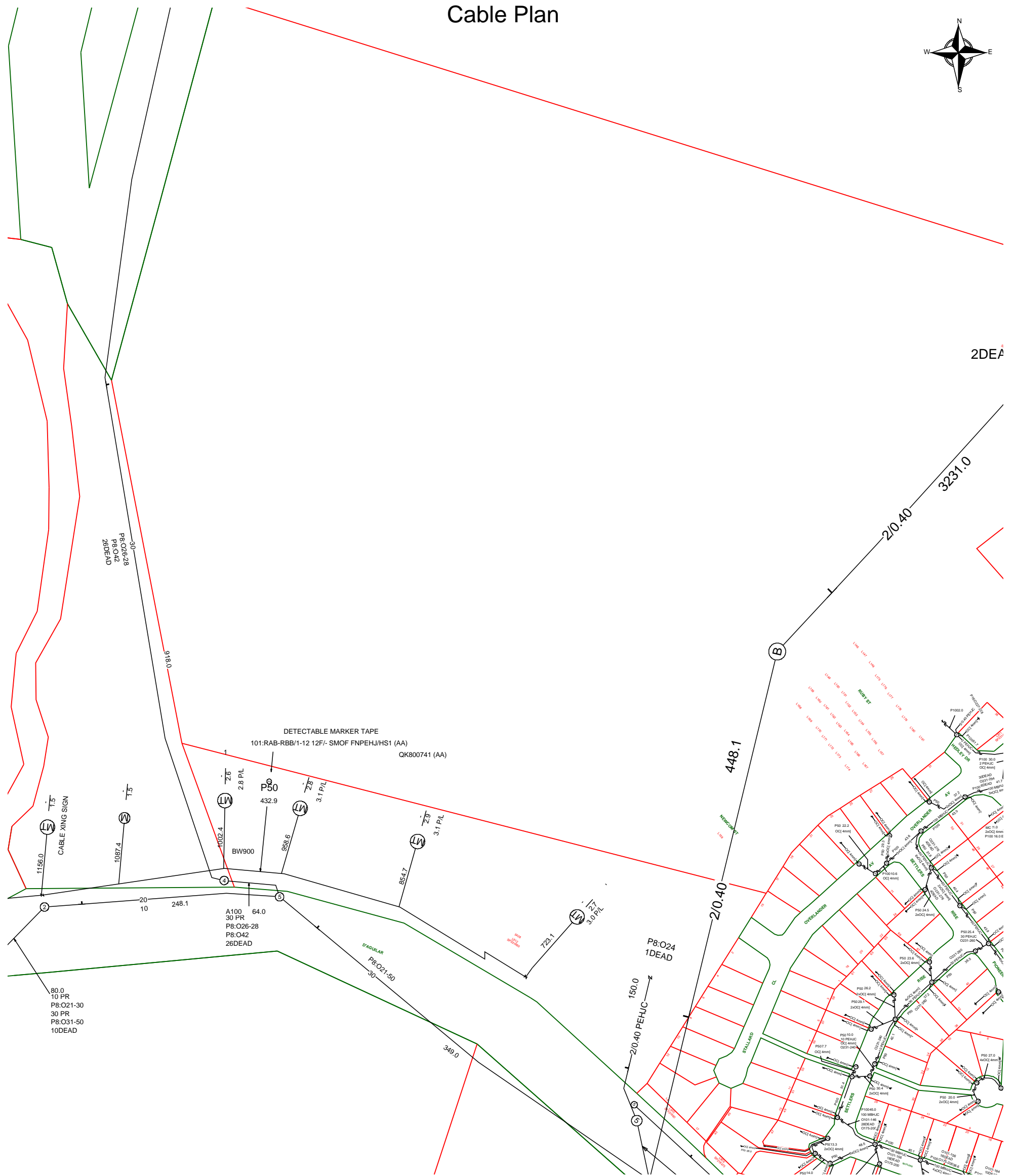
Locator skills have been tested, and the Organisation has calibrated location and safety equipment.

Telstra is aware of each Certified Locating Organisation and their employee locators.

Only a DBYD Certified Locator registered with a Certified Locating Organisation is authorised to access Telstra network for locating purposes.

Each Certified Locator working for a CLO is issued with a photo ID Card, authorising them to access Telstra pits and manholes for the purpose of cable and plant locations.

Please ask to see your Locators' CLO ID Card.

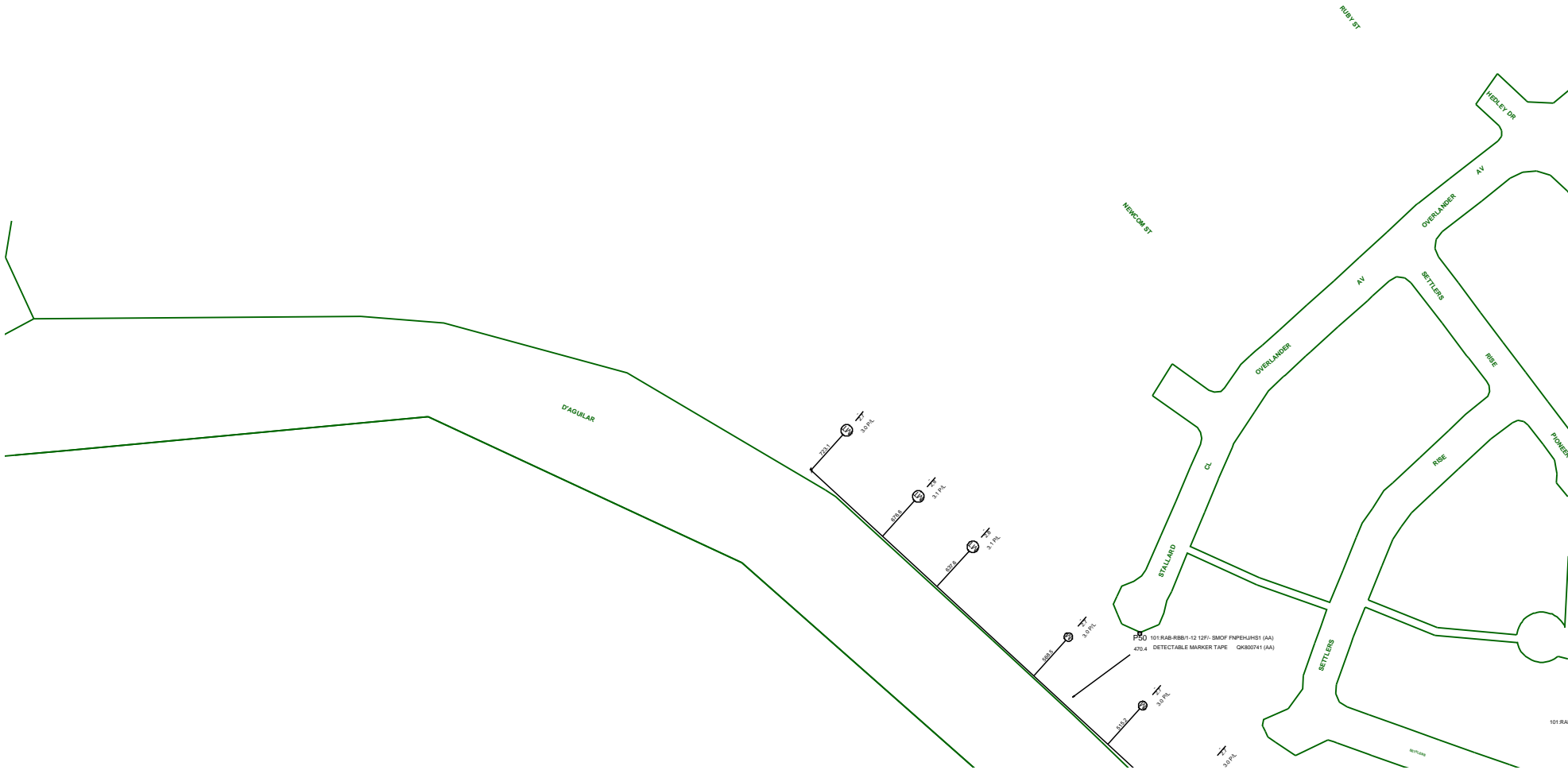
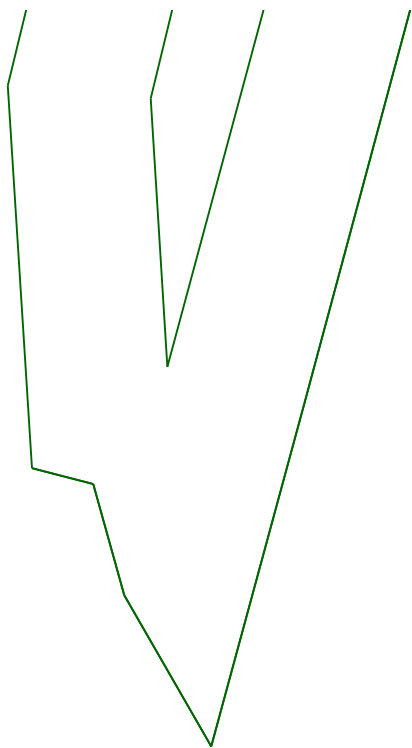



Generated On 11/06/2024 14:39:19

CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.

Page 1 of 2

Mains Cable Plan



	<p>Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries</p>	<p>Sequence Number: 240395124</p>
	<p>TELSTRA LIMITED A.C.N. 086 174 781</p>	<p>CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.</p>
	<p>Generated On 11/06/2024 14:39:20</p>	

WARNING

Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information.

As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D.

Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it.

Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy.

Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work.

A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

82

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OPENING ELECTRONIC MAP ATTACHMENTS -

Telstra Cable Plans are generated automatically in either PDF or DWF file types, dependent on the site address and the size of area selected. You may need to download and install free viewing software from the internet e.g.



DWF Map Files (all sizes over A3)

Autodesk Viewer (Browser) (<https://viewer.autodesk.com/>) or

Autodesk Design Review (<http://usa.autodesk.com/design-review/>) for DWF files. (Windows PC)



PDF Map Files (max size A3)

Adobe Acrobat Reader (<http://get.adobe.com/reader/>)



Telstra BYDA map related enquiries email

Telstra.Plans@team.telstra.com

1800 653 935 (AEST Business Hours only)



REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY

Report online - <https://www.telstra.com.au/forms/report-damage-to-telstra-equipment>

Ph: **13 22 03**

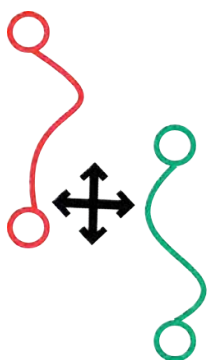
If you receive a message asking for a phone or account number say:

"I don't have one" then say "Report Damage" then press 1 to speak to an operator.



Telstra New Connections / Disconnections

13 22 00



Telstra asset relocation enquiries: 1800 810 443 (AEST business hours only).

NetworkIntegrity@team.telstra.com

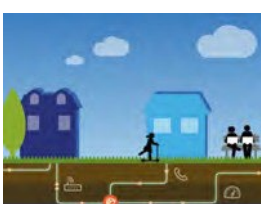
<https://www.telstra.com.au/consumer-advice/digging-construction>



Certified Locating Organisation (CLO)

<https://dbydlocator.com/certified-locating-organisation/>

Please refer to attached Accredited Plant Locator.pdf



Telstra Smart Communities

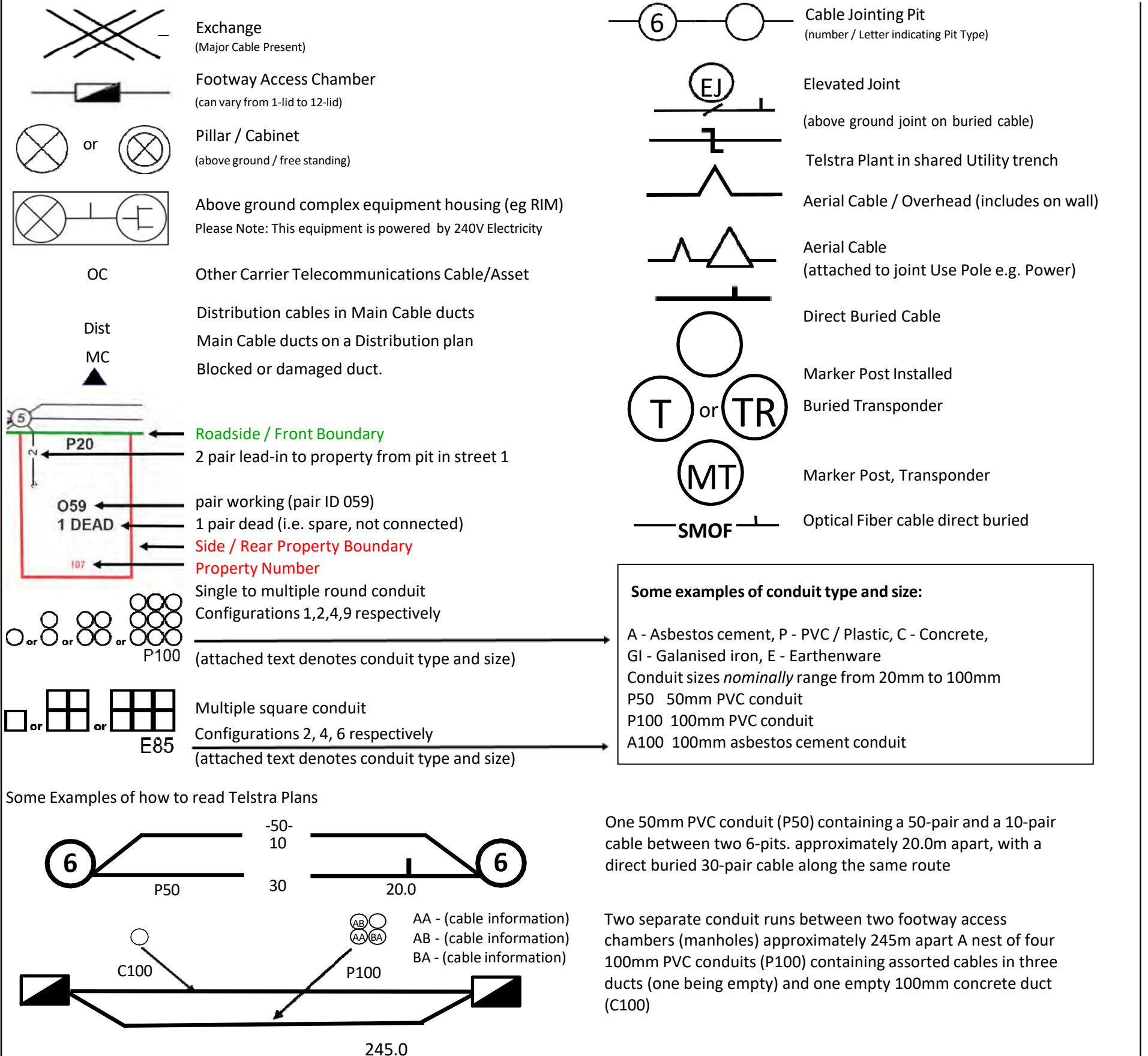
Information for new developments (developers, builders, homeowners)

<https://www.telstra.com.au/smart-community>

LEGEND



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935





End of document

i This document may exclude some files (eg. DWF or ZIP files)

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Appendix D – SRC Filling and Excavation Code Table

Project Location: Hedley Park Estate (Stage 11), Woolmar Job Reference: 9896-11

SRC – Filling and Excavation Code

Performance outcomes	Acceptable outcomes	AO Compliance	Comments	Council Use
Impacts on character and amenity				
PO1 The extent and degree of excavation and filling is within the reasonable community expectations having regard to the intended character of the zone in which the site is located.	AO1 No acceptable outcome provided.	PO	The proposed earthworks will not create adverse visual impacts to the surrounding properties.	
Stability and appearance				
PO2 Filling and excavation: (a) does not create an unreasonable height difference between adjoining premises; or (b) adversely impact on the visual amenity of the locality.	AO2.1 Retaining walls do not exceed 1 metre in height.	PO	Batters typically proposed in place of retaining walls.	
	AO2.2 Where fencing is positioned above a retaining structure, it is sited, designed or landscaped to reduce the bulk of the entire structure.		Where retaining walls are proposed, maximum height does not exceed 2.2m (with interallotment walls not exceeding 1.6m).	
	AO2.3 Filling and excavation does not occur within 3metres of the site boundary.		Where retaining walls are required either side of pedestrian links, corridors are set to 10m width to reduce the visual impact. Proposed colouring and finish of retaining walls will assist in providing a	

Performance outcomes	Acceptable outcomes	AO Compliance	Comments	Council Use
			more "natural" finish to help reduce the visual impact.	
PO3 The finished land is stable and capable of accommodating the intended activity.	AO3 No acceptable outcome provided.	AO	Filling and excavation will be monitored by Geotechnical inspection and testing authority to ensure the finish land is stable and capable of the intended activity.	
Environmental Impact				
PO4 Filling and excavation does not adversely affect the environmental values of the premises or adversely impact on water quality of receiving environment. Filling and excavation does not inhibit fish passage through a watercourse permanent or ephemeral), wetland, waterbody or other aquatic habitat.	AO4.1 For filling, only clean, uncontaminated fill is used.	AO	Due to the existing nature of the site, it is not expected that the site is listed on the contaminated land register. All fill material sourced for the development will be free of contaminants.	
	AO4.2 Filling and excavation does not occur on land that is on the Contaminated Land Register or the Environmental Management Register.			
	AO4.3 No filling or excavation occurs in a buffer setback of a watercourse, waterbody or wetland as determined by the applicable overlay code.			
	AO4.4 Where a watercourse, waterbody or wetland is not mapped, no filling or excavation activities occurs within 100			

Performance outcomes	Acceptable outcomes	AO Compliance	Comments	Council Use
	metres of the top bank of that watercourse, wetland, or waterbody.			
Flooding and drainage				
PO5 Filling and excavation does not result in any adverse impact on the existing drainage regime or exacerbate flows upstream or downstream of the site.	AO5 Filling and excavation does not: (a) concentrate flows across adjoining sites; or (b) cause ponding on the site or on adjoining or nearby land.	AO	Proposed filling and excavation will not adversely impact existing drainage regime or exacerbate flows upstream or downstream of the site.	
Operational management				
PO6 Filling and excavation does not impact adversely on the visual amenity of the locality.	AO6.1 Spoil is not stockpiled in locations that can be viewed from adjoining properties or from a road frontage for a period exceeding 1 month.	AO	The proposed earthworks will not create adverse visual impacts to the surrounding properties.	
	AO6.2 Finished slopes, surfaces and batters are graded to smooth contours and are seeded and turfed.			
PO7	AO7.1	AO	Dust suppression measures will be	

Performance outcomes	Acceptable outcomes	AO Compliance	Comments	Council Use
Emissions do not cause environmental harm or environmental nuisance. .	Dust and odour emissions are contained within the boundaries of the site		implemented during construction to limit air pollutants. Construction hours will be in accordance with the approved working hours.	
	A07.2 Operations occur only between 7am to 6pm Monday to Friday, 8am-5pm Saturday excluding Sundays and public holidays.			
Impacts on infrastructure, public utilities and easements				
PO8 Filling or excavation does not prejudice the integrity, operation, and maintenance of infrastructure, public utilities and easements.	A08.1 Filling and excavation does not take place: (a) within an easement; (b) within 3 metres of public utilities; or (c) where underground infrastructure services would be impacted.	AO	Construction of the development will take necessary precautions and actions to ensure the protection of existing services and public utilities.	
	A08.2 Filling and excavation over existing sewers is in accordance with Queensland Urban Utilities standards.			



INERTIA ENGINEERING PTY LTD

Unit 2A, 139 Coronation Drive, Milton QLD 4064

P | 07 3857 7868 E | info@inertiaeng.com.au

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Structural



Civil



Flood

Stormwater Management Plan

QM Properties


Hedley Park Estate

Woolmar

Job Reference Number – 9896

Date: 17 July 2024

Document Status

Rev No	Author	Reviewer	Approved for Issue			
			Name	Signature	Date	RPEQ #
0	C. Omlid	E.Clements	E.Clements		17.07.24	8614

Distribution

Rev No	Date	Issue	Issued To	Format
0	17.07.24	For approval	QM Property	PDF

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1 Introduction

1.1. Purpose and Scope

Inertia Engineering has been commissioned by QM Properties to prepare a Stormwater Management Plan for Hedley Park Estate Stage 11, Woolmar (the subject site).

The principal objectives of this study are to:

- Determine the flood levels within the subject site, sizing of peak flow mitigation measures, and to quantify any flooding impacts to both regional and local flooding from the proposed development; and
- Determine the stormwater management best practice strategy.

1.2. Report Limitations

This report has been prepared by Inertia Engineering Pty Ltd for QM Properties and may only be used and relied on by QM Properties for the purpose agreed between Inertia Engineering and QM Properties as detailed within this report.

Inertia Engineering otherwise disclaims responsibility to any person other than QM Properties arising in connection with this report. Inertia Engineering also excludes implied warranties and conditions, to the extent legally permissible.

The services undertaken by Inertia Engineering in connection with preparing this report were limited to those specifically detailed in the report and are subject to the scope limitations set out in the report.

The opinions, conclusions and any recommendations in this report are based on conditions encountered and information reviewed at the date of preparation of the report. Inertia Engineering has no responsibility or obligation to update this report to account for events or changes occurring subsequent to the date that the report was prepared.

The opinions, conclusions and any recommendations in this report are based on assumptions made by Inertia Engineering described in this report. Inertia Engineering disclaims liability arising from any of the assumptions being incorrect.

Inertia Engineering has prepared this report on the basis of information provided by QM Properties and others who provided information to Inertia Engineering (including Government authorities), which Inertia Engineering has not independently verified or checked beyond the agreed scope of work. Inertia Engineering does not accept liability in connection with such unverified information, including errors and omissions in the report which were caused by errors or omissions in that information.

2 Site Characteristics

The land contained within the site is described as follows:

Title Details:	Lot 914 on SP282074 and Lot 912 on SP231462
Street Address:	Hedley Park Estate, Woolmar
Area:	Total: 59,950m ²
Approximate developable site area:	44,070m ²

2.1. Location

The subject site is located in Woolmar, approximately 2km west of Kilcoy. The portion of the site occupied by Stage 11 comprises a total of 59,950m² and lies to the north-west of the first 10 stages of Hedley Park. The site is accessed via Hedley Drive from the south.

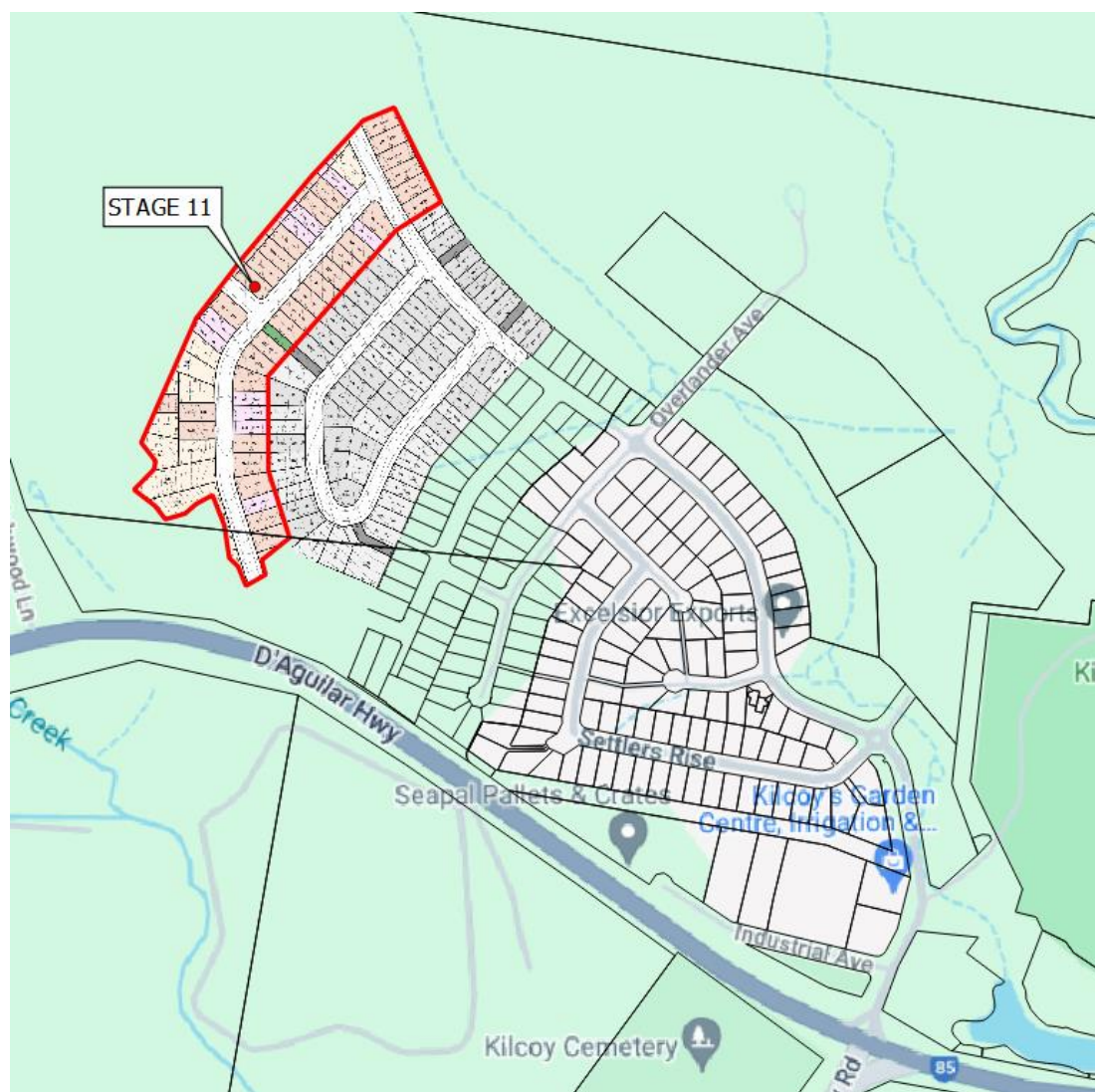


Figure 2-1 - Location Plan

2.2. Topography and Drainage

The subject area generally drains north-east to a watercourse with several existing ponds along its length. This watercourse flows through existing stages of Hedley Park and discharges to Menzies Lagoon. There are several large ponds within previous stages which perform a detention and stormwater quality treatment function. The main existing drainage structure within the flow path is 3 x 900 RCP pipes under Overlander Avenue.

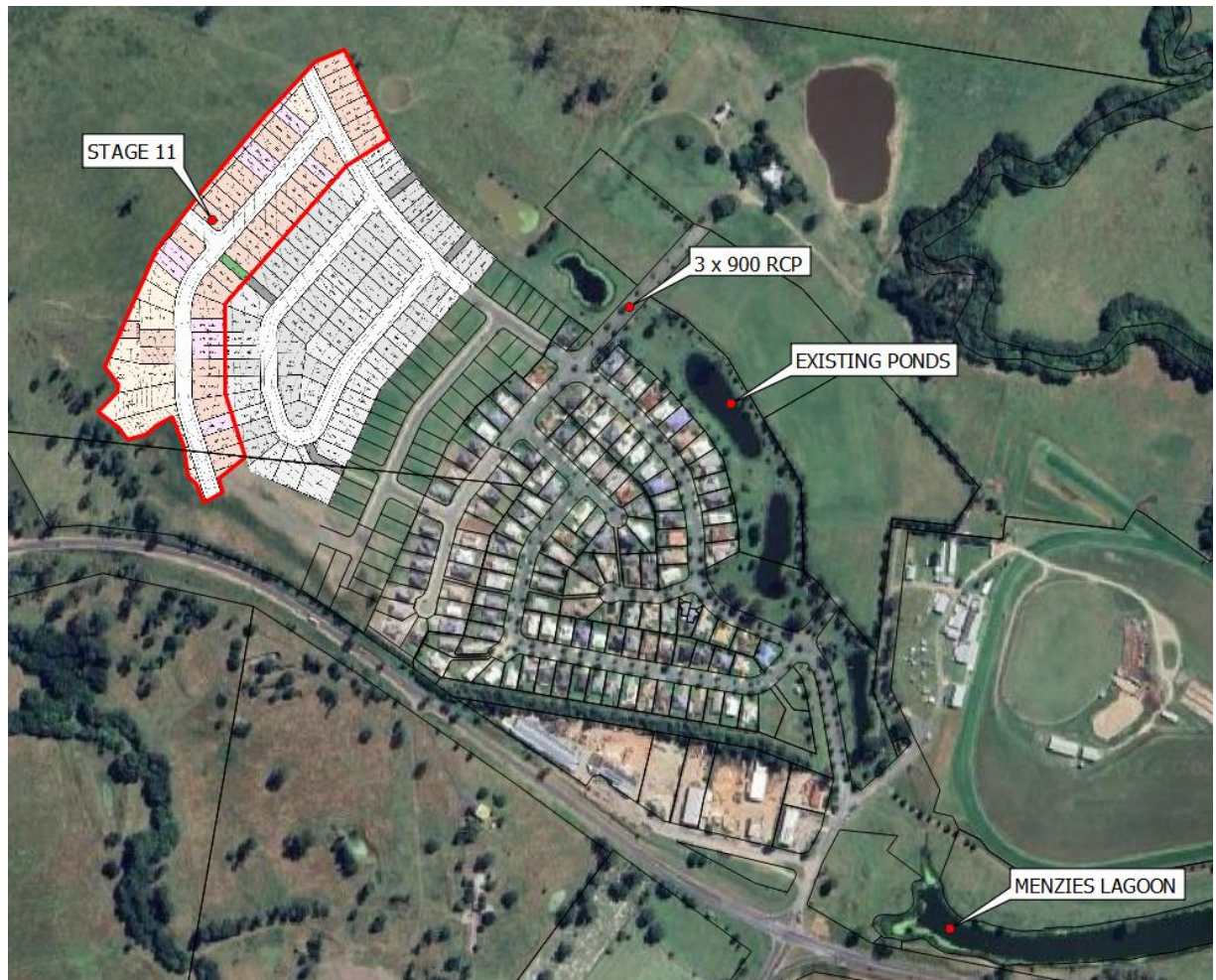


Figure 2-1 – Existing Stormwater

2.3. Existing Use

The existing site is largely cleared of major vegetation but is otherwise unimproved.

2.4. Development Layout

The development consists of stage 11 of the greater masterplan comprising a total of 40 lots. Refer to Appendix A for the development layout plan.

2.5. Council Flood Mapping

Somerset Regional Council mapping indicates that regional flooding affects the watercourse within the Hedley Park Estate to the downstream side of Overlander Avenue. As this extent does not reach Stage 11, this report is concerned only with local flooding from the site and local catchment to the north-west.

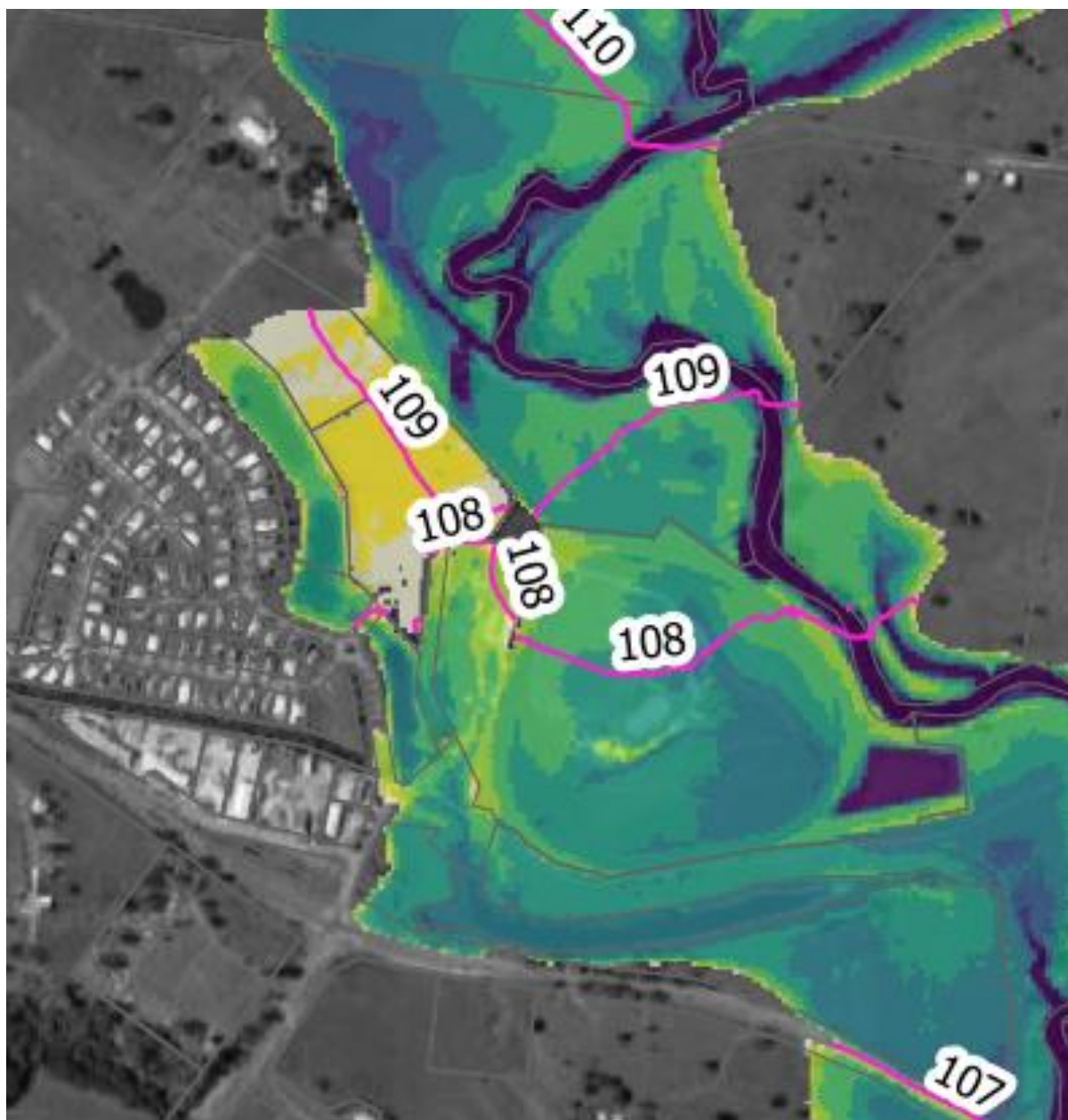


Figure 2-1 – Flood Level Mapping Extract - Regional

3 Stormwater Quality

3.1. Introduction

The operational phase of the management plan focuses on appropriate consideration of Stormwater Quality Improvement Devices and Water Sensitive Urban Design (WSUD) principles to be incorporated into the total water cycle management of the developed site.

The State Planning Policy (2017) states for a proposed material change of use that involves a site area greater than 2,500m² and will result in an impervious area greater than 25% a Site Based Stormwater Quality Management Plan is required.

The site will be treated by directing low flows to gross sediment basins to pre-treat the gross sediment pollutants, then to bio basins to treat for other pollutants. In a high flow situation, the flow bypass the gross sediment basins and bio basins. Please refer to Appendix C for the detailed design drawings.

3.2. Pollutants

Pollutants typically generated during the operational phase of the development are shown below.

Table 3-1 – Pollutants typically generated during the operational phase

Pollutant	Sources
Litter	Construction, construction, food waste materials
Sediment	Exposed soils and stockpiles
Oxygen demanding substances	Organic or chemical matter
Nutrients (N & P)	Nitrogen, phosphorus
Pathogens / Faecal coliforms	Sewerage
Hydrocarbons	Fuel and oil spills
Heavy metals (with fine sediment)	Sediment runoff
Surfactants	Detergents from car washing, cleansing agents
Organochlorines & organophosphates	Pesticides, herbicides
Thermal pollution	Heat (i.e. runoff from impervious areas)
pH altering substances	Washwaters

3.3. Water Quality Objectives

The State Planning Policy (2017) sets out the following water quality objectives for South East Queensland in order to protect downstream receiving waters:

- Total Suspended Solids (TSS) 80% reduction
- Total Phosphorus (TP) 60% reduction

- The percent reductions listed above are the target reductions for comparing mitigated site annual pollutant loads with unmitigated site annual pollutant loads. The proposed treatment strategy selected for the development will ensure these objectives are met for all pollutants.

The proposed treatment strategy will utilise multiple biobasins and gross sediment basins as a pre-treatment for each biobasin in order to achieve Council's water quality objectives.

- Stage 11 falls under catchments C2, C3A, and C6 as per the stormwater management masterplan.
- Catchments C2 and C3A are treated by biobasins described as Bioretention Cat 2 and Bioretention Cat 3A and in the masterplan.
- Bioretention Cat 2 and Cat 3A are to be constructed as part of Stages 9 and 10, which currently have OPW approval with construction to start imminently.
- The sub catchment C4 as part of Stage 11 (refer to **Error! Reference source not found.**) to indirectly enter Stage 9 and 10 basin by overland flow.
- A minor area of the site bypasses the Stage 9 and 10 basin. These sit within Catchment 6 of the stormwater masterplan, which is to be treated by Biobasin Cat6 as part of Stage 12.

Please refer to Appendix C for the detail design drawings.

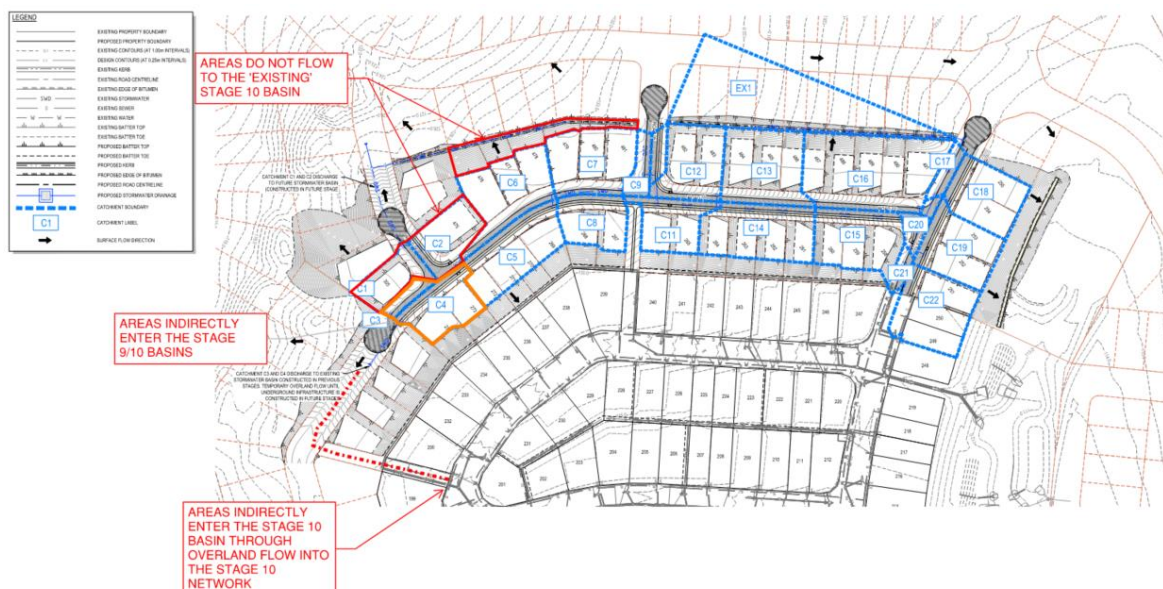


Figure 3-1 - Stage 11 Catchments

3.5. Water Quality Modelling

The proposed treatment strategy has been modelled using MUSIC version 6.1.

The estate as a whole was modelled for the stormwater masterplan, please refer to Inertia Engineering report 9896-C-SWMP-R000_Overall for further details.

Rainfall, catchment properties and pollutant characteristics have been sourced from Water By Design's 'MUSIC Modelling Guidelines' (2010).

The rainfall data uses rainfall station 40318 (Kirkleigh), 6-minute time step from 01/01/1980 to 31/12/1989 and all source and treatment nodes parameters have sourced from Water By Design's 'MUSIC Modelling Guidelines' (2010).

The model source node parameter values and pollutant concentration parameters are shown in the tables below.

Table 3-2 -MUSIC Source Node Parameters (Urban Residential)

Rainfall Runoff Parameters	Values
Rainfall Threshold (mm/day)	1.00
Soil Storage Capacity (mm)	500
Initial Storage (% of capacity)	10
Field Capacity (mm)	200
Infiltration Capacity Coefficient – a	211
Infiltration Capacity Exponent – b	5
Initial Depth (mm)	50
Daily Recharge rate (%)	28
Daily Baseflow Rate (%)	27
Daily Deep Seepage (%)	0

Table 3-3 - MUSIC Pollutant Concentration Parameters (Urban Residential)

		TSS		TP		TN	
		Base Flow	Storm Flow	Base Flow	Storm Flow	Base Flow	Storm Flow
Roof	Mean (Log mg/L)	N/A	1.30	N/A	-0.89	N/A	0.26
	Std Dev (Log mg/L)	N/A	0.39	N/A	0.31	N/A	0.23
Road	Mean (Log mg/L)	1.00	2.43	-0.97	-0.30	0.2	0.26
	Std Dev (Log mg/L)	0.34	0.39	0.31	0.31	0.2	0.23
Ground	Mean (Log mg/L)	1.00	2.18	-0.97	-0.47	0.2	0.26
	Std Dev (Log mg/L)	0.34	0.39	0.31	0.31	0.2	0.23

The subject site has been split into the following areas for the purposes of the MUSIC modelling:

Cat2

- Roof – 1.98ha (100% impervious)
- Road – 1.04ha (50% impervious)
- Ground – 4.90ha (5% impervious)

Cat3A

- Roof – 1.525ha (100% impervious)
- Road – 1.66ha (50% impervious)
- Ground – 2.915ha (0% impervious)

Cat6

- Roof – 2.85ha (100% impervious)
- Road – 2.42ha (50% impervious)
- Ground – 6.13ha (5% impervious)

The configuration of the model and results are shown in Figures 3-2 to 3-4 below. This demonstrates that the water quality objectives can be achieved by incorporating the proposed treatment strategy into the development.

3.6. Water Quality Sensitivity

The MUSIC model was rerun with the saturated hydraulic conductivity reduced from 200mm/hr to 50mm/hr to test the sensitivity of the model. This resulted in a decrease in percentage reduction of approximately 5% for total suspended solids and 10% for total phosphorus and total nitrogen per year, with results as per Figures 3-5 to 3-6.

3.7. Results

To achieve Council's water quality objectives the sizes of each of the bioretention basins which make up the proposed treatment strategy is shown in Table 3-4.

Table 3-4 - MUSIC Treatment Biobasin Areas

Catchment	Biobasin Surface Area	Filter Area (m ²)
C2	550	500
C3A	420	370
C6	715	650

To ensure the deposition of coarse sediment in the filter media surface does affect the bio-retention basin, a coarse sediment forebay is proposed to capture the coarse sediment from the flow prior to entering the basin. The forebay also makes the maintenance simpler and more cost effective.

Please refer to Table 3-5 which outlines the sediment forebays recommended sizes for each catchment. This has been calculated using the Bioretention Technical Design Guidelines V1.1 (2014) by Water by Design.

Table 3-5 - Sediment Forebay Sizing

Catchment	Contributing Area (ha)	Depth (m)	Area required (m ²)	Volume of sediment storage required (m ³)	Q3 (m ³ /s)	Efficiency %*
C2	7.92	0.3	36.8	11.04	0.30	80.21
C3A	6.10	0.3	28.8	8.64	0.24	80.00
C6	11.4	0.3	35.2	10.56	0.28	80.44

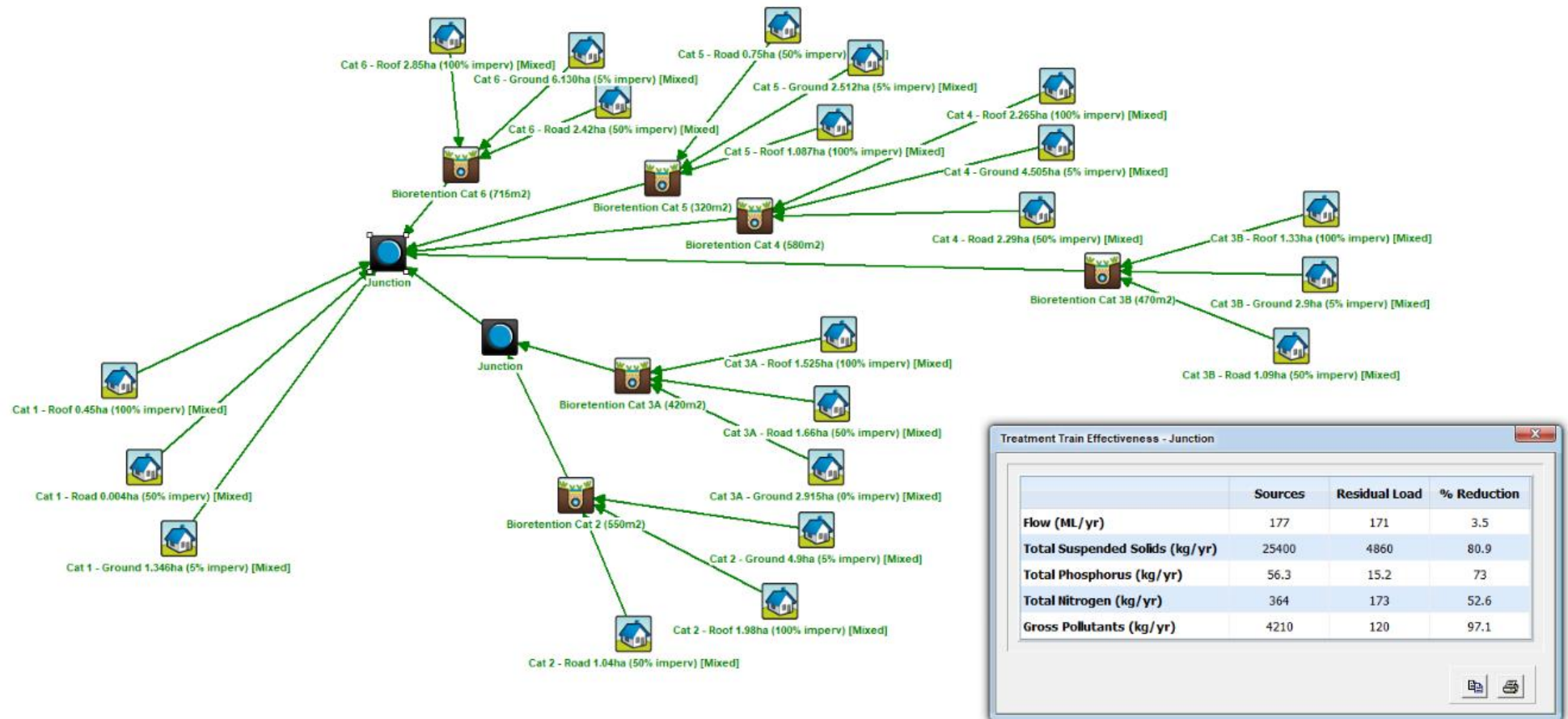


Figure 3-2 - MUSIC Model Configuration (Stormwater Masterplan)

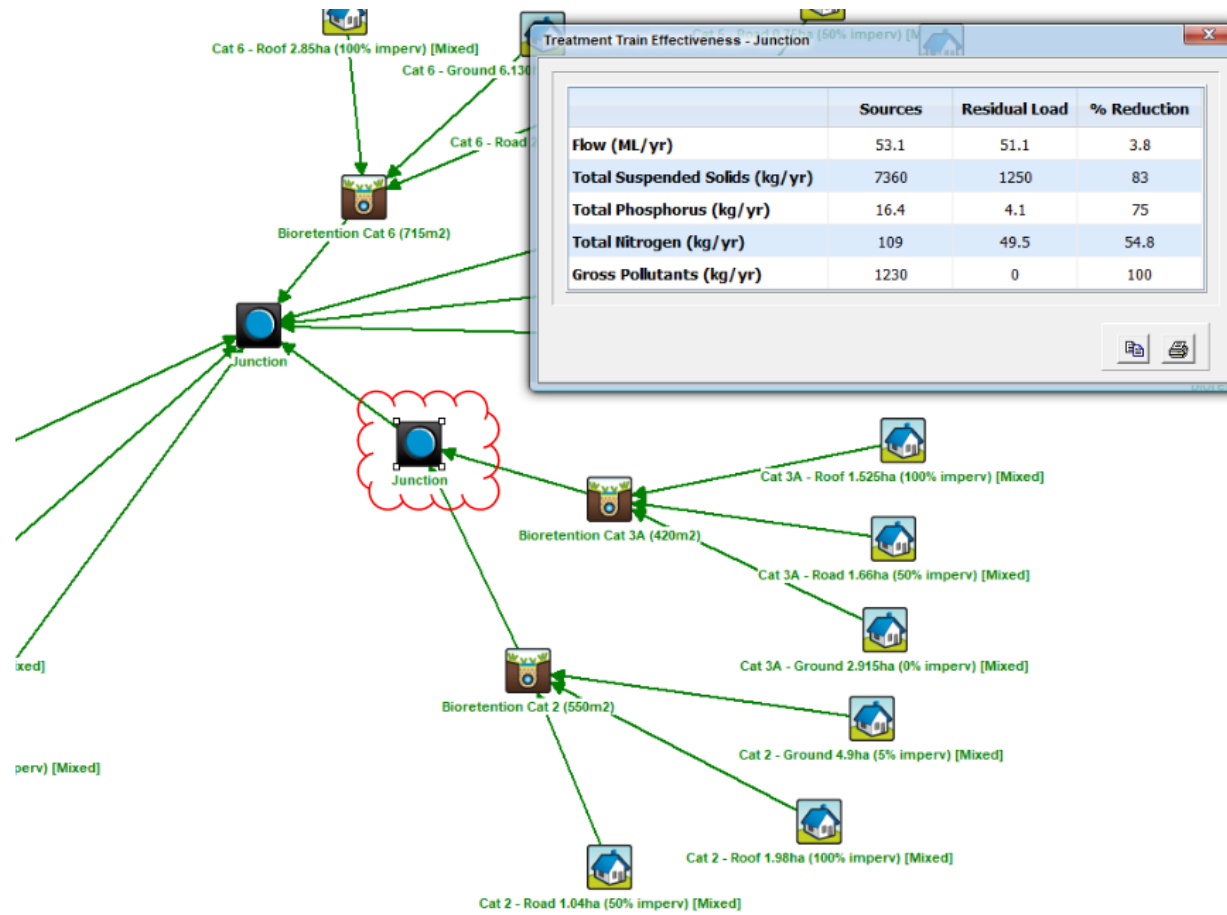


Figure 3-3 - MUSIC Model Configuration (Cat 3A & 2)

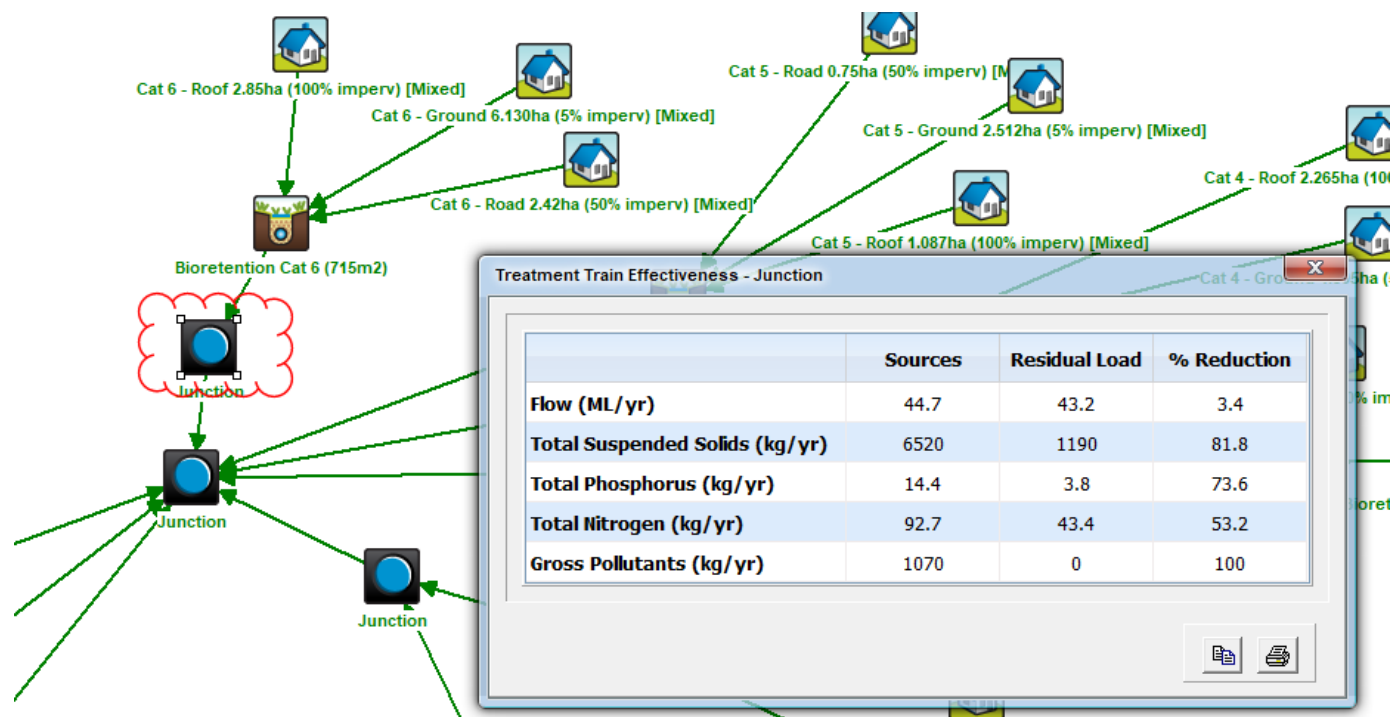


Figure 3-4 - MUSIC Model Configuration (Cat6)

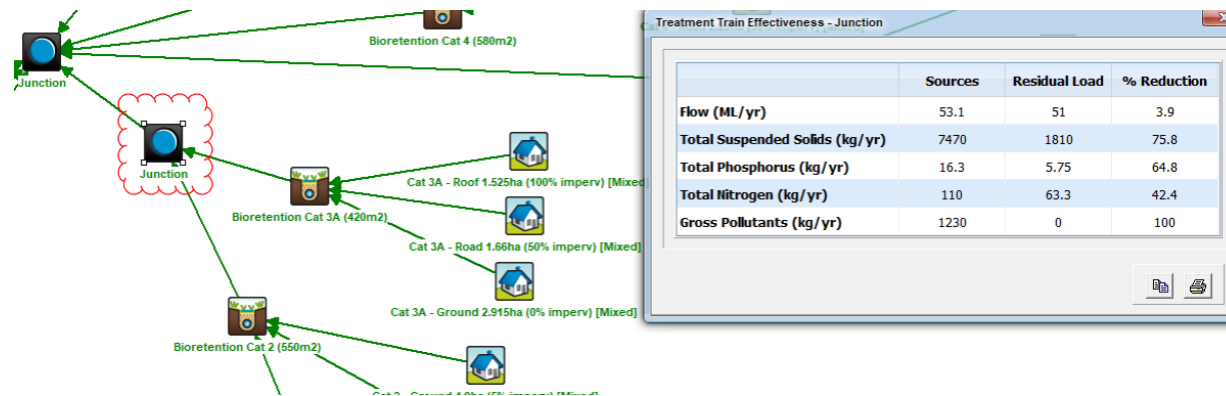


Figure 3-5 - Sensitivity Testing Cat 2 and 3A

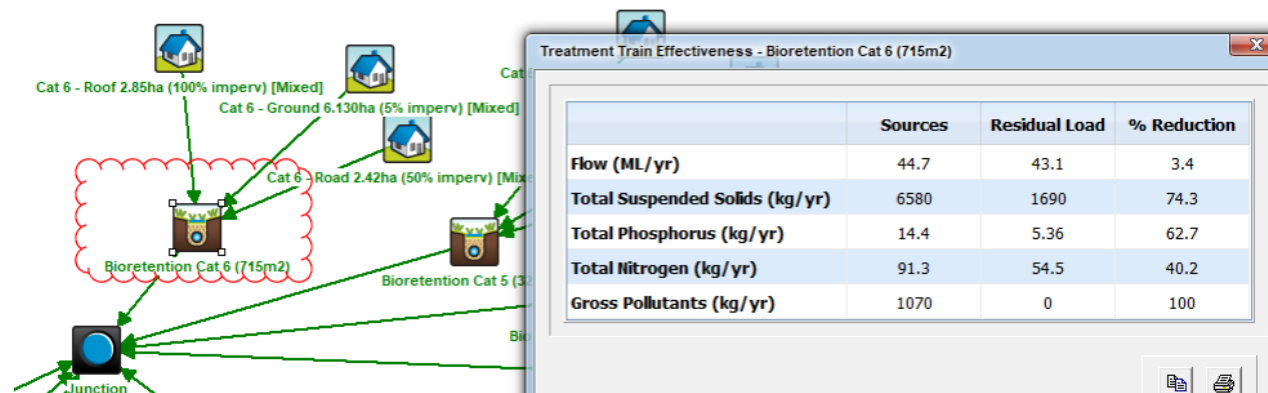


Figure 3-6 - Sensitivity Testing Cat 6

4 Stormwater Quantity

4.1. Objectives

The objectives for the local flood assessment are to demonstrate that the proposed development will not adversely impact flood levels external to the subject site during a local storm event.

4.2. Hydrology

The TUFLOW software package has been used to simulate local design storm events and to estimate design flood depths within the study area. The model has utilised a rain-on-grid methodology for the undeveloped portion of the site which applies design rainfall directly to the surface of the flood model. The existing stages have been represented with point inflows at their discharge points to the watercourse.

Refer to Appendix C for a map of the contributing catchments, Stage 11 discharges to the pipe network from the previous stage 10.

The TUFLOW model was used to estimate flooding behaviour for the 0.5EY, 0.2EY, 9.5%, 5% and 1% AEP storm events.

4.2.1. Adopted Design Rainfalls

Design rainfall patterns and intensities for the area were determined using standard procedures given in Australian Rainfall and Runoff 2019 (AR&R 2019). An ensemble of 10 temporal patterns for each storm duration have been analysed, with the selected design storm being the first above the mean flow for each duration. The selected design storm for the 1% AEP is the 25-minute, temporal pattern 8 storm. This critical storm produces the greatest overland flow at Overlander Avenue.

4.2.2. Land Use

Impervious percentages for the catchments have been applied based on aerial photography. The majority of the catchment is pervious aside from the existing stages which are low density residential.

4.2.3. Rainfall Losses

Initial loss (IL) and continuing losses (CL) have been applied to the model for the impervious and pervious portions of the catchment. The values utilised are from the AR&R data hub with median pre-burst values subtracted. The data hub starting loss values are:

- Impervious IL = 0mm CL = 0mm/hr; and
- Pervious IL = 17mm CL = 2.1mm/hr

4.3. Hydraulic Analysis

4.3.1. Model Setup

The 2D model was established to estimate the flood depths across the site and downstream watercourse and the following is of note;

- The extent of the model encompasses the catchment which contributes runoff to the system of ponds;
- The model adopted a grid cell size of 1m to capture the detail of the existing flowpaths;
- A dynamic timestep approach was utilised as part of the Heavily Parallelised Computing (HPC) version of the 2D software; and
- The model was run for a number of durations to find the critical storm event. The 25 minute storm was found to produce peak flood levels in the area of interest.

4.3.2. Topography

The 2D model topography has been created from LIDAR data supplied from the Department of Natural Resources and Mines (DNRM). The LIDAR data provided was from the 2014 South East Queensland LIDAR capture project. This was superseded by site specific survey over much of the lot, and design earthworks for stages 7 and 8.

4.3.3. Mannings 'n' Roughness

The following Manning's n values have been adopted:

- Residential Areas = 0.15
- Dense Vegetation = 0.15
- Medium Vegetation = 0.1
- Light Vegetation = 0.05
- Open Space and Parks = 0.04
- Roads = 0.015
- Grassed Channels = 0.035
- Open Water = 0.025

4.3.4. Stormwater Network

The as-constructed stormwater network within the catchment were modelled as 1D elements within TUFLOW to ensure that the capacity of the pipes was accurately represented.

All invert levels, pipe sizes, pipe grades and material types were sourced from site survey.

4.3.5. Hydrologic Inputs

Inflow has been applied directly to the model grid and as point sources as described in Section 3.2 above.

4.3.6. Tailwater Conditions

A free-flowing boundary has been applied to the TUFLOW downstream of the subject site towards Menzies Lagoon.

Refer to Figure 4-1 showing the model configuration.

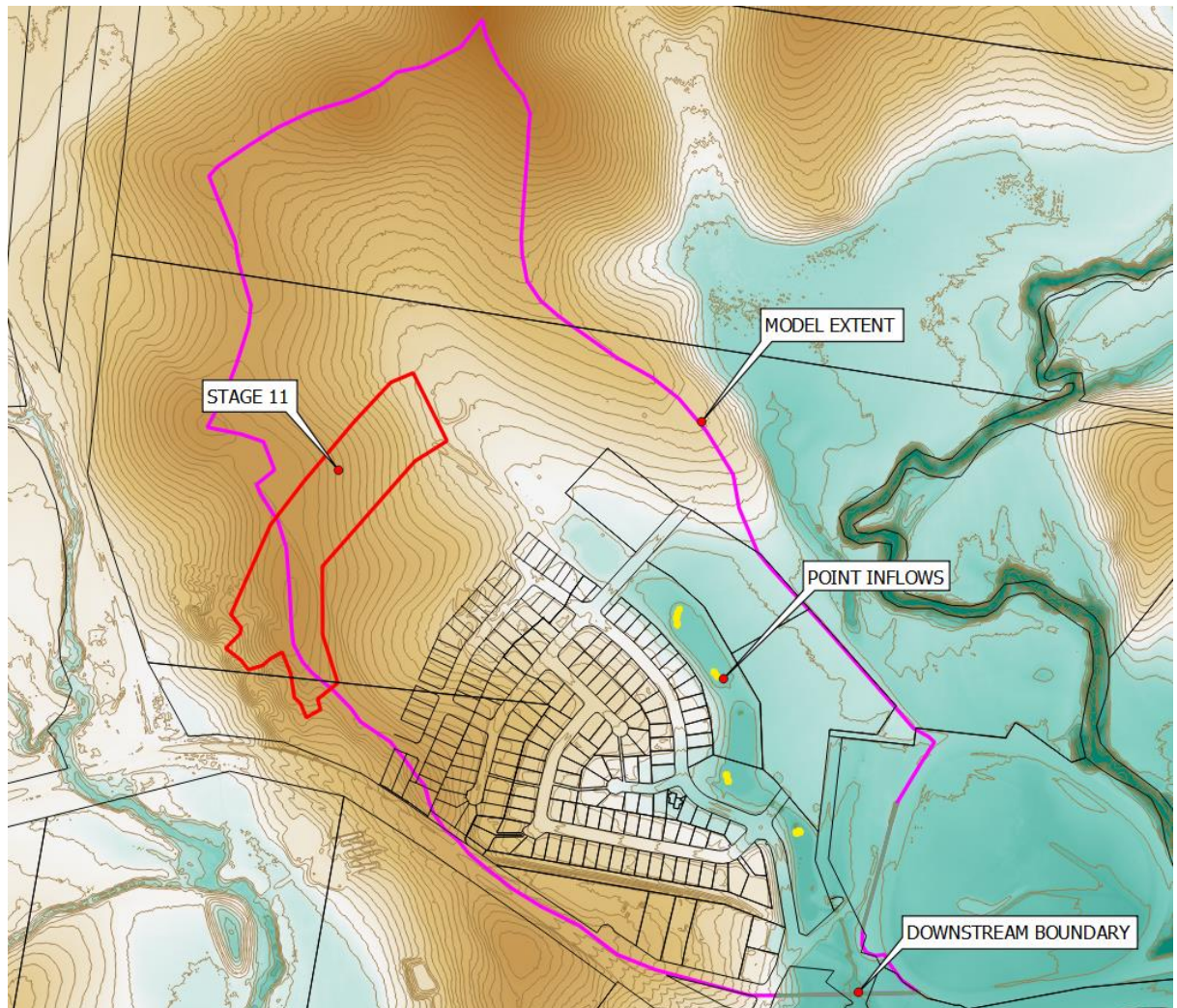


Figure 4-1 – Local TUFLOW Model Extent

4.4. Local Hydraulic Analysis Results – Pre-Development

Runoff from the contributing catchment is collected within the central watercourse and is discharged through the series of ponds to Menzies Lagoon. The following information is of note from the model results:

- The existing stormwater infrastructure under Overlander Avenue is not able to convey the 1% AEP without overtopping. Peak depth at the existing sag point in Overlander Avenue is 390mm in the 1% AEP;
- Overlander Avenue starts overtopping at approximately 4.5m³/s of flow within the watercourse;
- The duration of inundation greater than 200mm within the road is approximately 27 minutes in the 1% AEP;
- Downstream of Overlander Avenue the floodwater is contained within the existing flowpaths;
- The peak pre-development flows measured downstream of Overlander Avenue are summarised below in Table 4-2.

Table 4-2 - Peak Discharge – Pre-Development

Flood Event	Pre-Development peak flow (m ³ /s) - Overlander Avenue
0.5EY	5.28
0.2EY	8.55
9.5% AEP	12.17
5% AEP	14.75
1% AEP	21.83

Figures 4-2, 4-3, and 4-4 show the pre-development scenario peak flood depths, velocities, and DxV product.



Figure 4-3 – 1% AEP Peak Local Pre-Development Flood Depths



Figure 4-4 – 1% AEP Peak Local Pre-Development Velocity

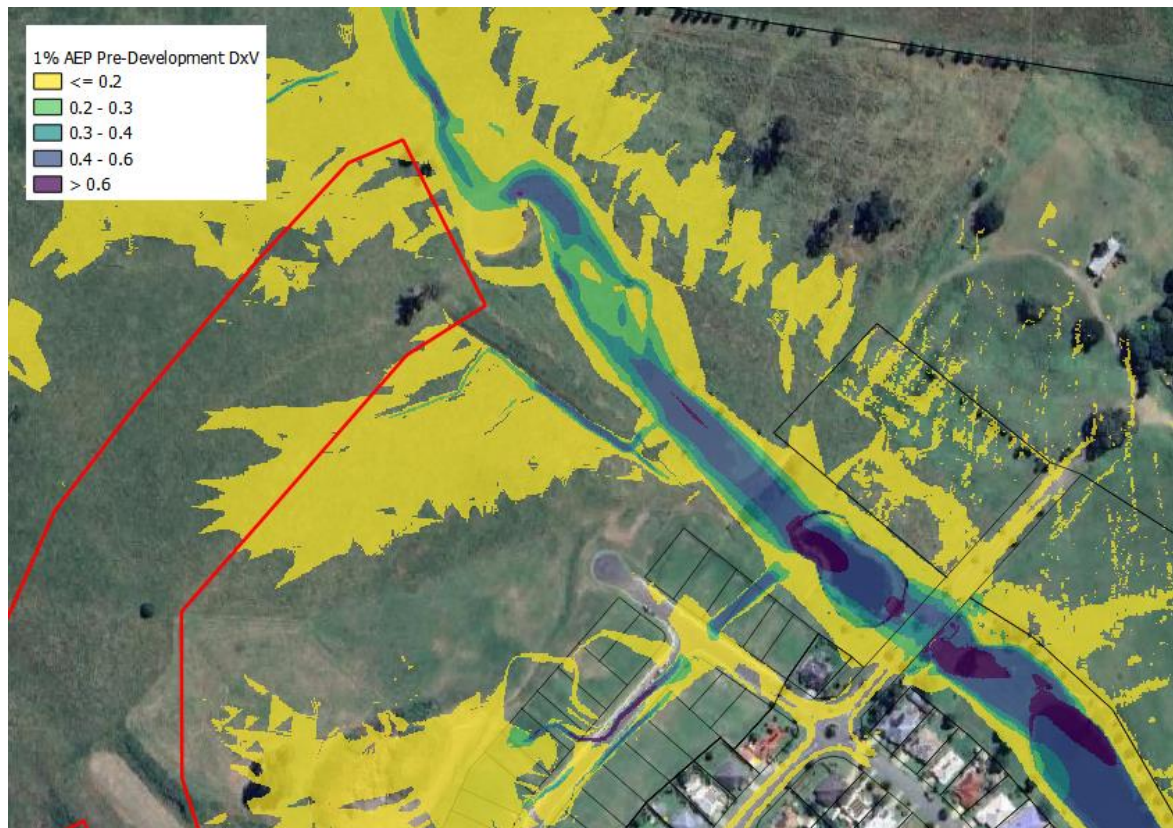


Figure 4-5 – 1% AEP Peak Local Pre-Development DxV

4.5. Local Hydraulic Analysis Results – Post-Development

The post-development scenario includes increases in imperious areas to Stages 8-11, which are applied as point inflows to the watercourse.

The detention basin to the east of Stages 9-10 has been incorporated into previous stage works and has been sized previously to cater for Stage 11 flows.

The proposed detention basin includes the following elements in accordance with the overall stormwater masterplan:

- Total storage volume of approximately 5,500m³;
- 5 x 900 mm RCP low flow outlet at RL 110.0m AHD;
- 4 x 600 RCP mid flow outlet at RL 110.7m AHD; and
- 19m long high flow weir @ RL 111.6m AHD.



Figure 4-6 – Post-Development Model Modifications

The post-development results are summarised by:

- The proposed detention basin mitigates flows to both Overlander Avenue and Menzies Lagoon;
- The peak depth in the sag at Overlander Avenue is reduced to 360mm in the 1% AEP, and the time of duration greater than 200mm is 24 minutes;
- The DxV product on Overlander Avenue is reduced from 0.45m²/s to 0.4m²/s; and
- The peak post-development flows measured downstream of Overlander Avenue are summarised below.

Table 4-7 - Peak Discharge – Post-Development

Flood Event	Post-Development peak flow (m3/s) - Overlander Avenue
0.5EY	3.38
0.2EY	4.38
9.5% AEP	9.19
5% AEP	11.73
1% AEP	16.73

Figures 4-7, 4-8, and 4-9 show the post-development scenario peak flood depths, velocities, and DxV product.



Figure 4-7 – 1% AEP Peak Local Post-Development Flood Depths



Figure 4-8 – 1% AEP Peak Local Post-Development Velocity

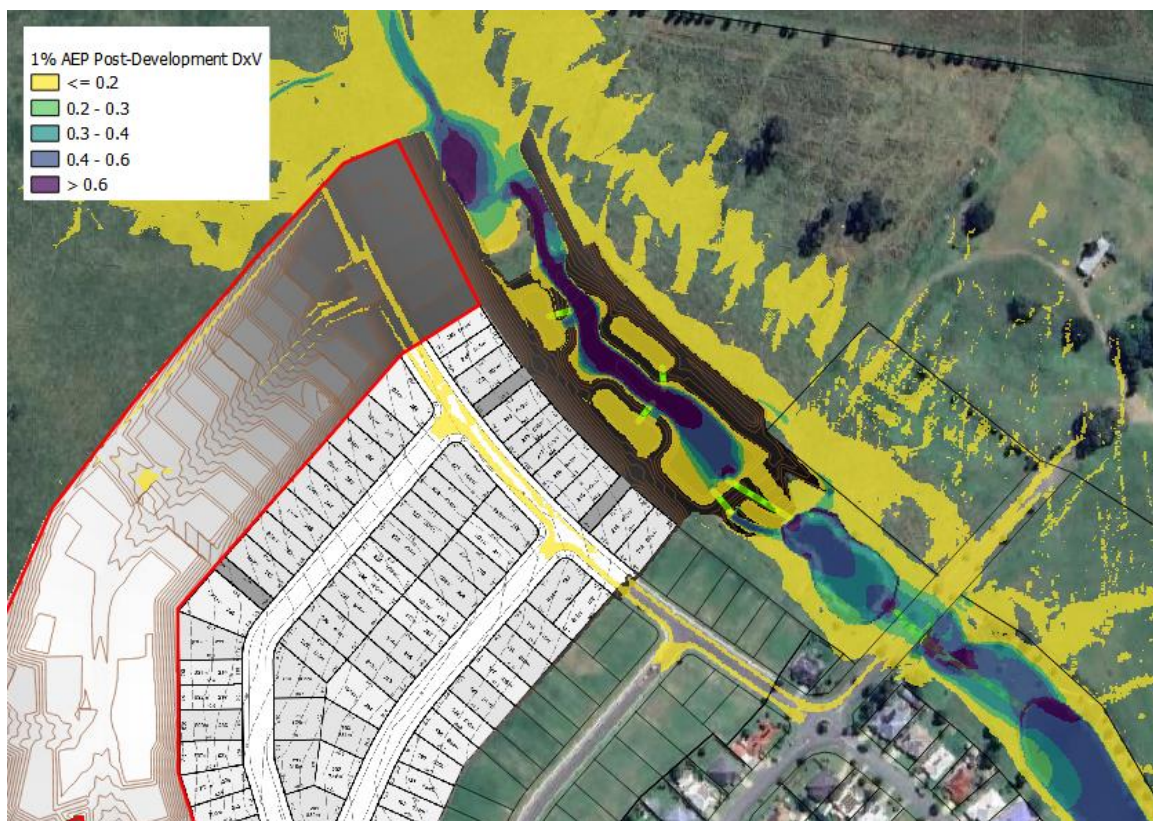


Figure 4-9 – 1% AEP Peak Local Post-Development DxV

4.6. Local Flood Impact Assessment

To assess the flood impact that the proposed development will have on surrounding properties during the local flood event, the results of the pre and post-development TUFLOW local models have been compared. Table 4-3 shows the peak pre and post-development discharge downstream of Overlander Avenue and Table 4.4 shows the peak pre and post-development discharge at Menzies Lagoon. Note that discharges to Menzies Lagoon are less than Overlander Avenue due to the detention provided by the ponds between these two locations.

Table 4-8 - Peak Discharge Comparison – Overlander Avenue

Flood Event	Pre-Development peak flow (m ³ /s)	Post-Development peak flow (m ³ /s)	Difference (m ³ /s)
0.5EY	5.28	3.38	-1.90
0.2EY	8.55	5.38	-3.47
9.5% AEP	12.17	9.19	-2.98
5% AEP	14.75	11.73	-3.02
1% AEP	21.83	16.73	-5.1

Table 4-9 - Peak Discharge Comparison – Menzies Lagoon

Flood Event	Pre-Development peak flow (m ³ /s)	Post-Development peak flow (m ³ /s)	Difference (m ³ /s)
0.5EY	1.42	1.41	-0.01
0.2EY	2.80	2.68	-0.12
9.5% AEP	4.22	4.17	-0.05
5% AEP	6.52	6.47	-0.05
1% AEP	14.76	14.43	-0.33

Figure 4-10 below shows the 1% AEP flood level impact plot, which demonstrates that there are actionable adverse impacts to peak flood levels external to the site.



Figure 4-10 – 1% AEP Local Flood Level Impact

5 Conclusions

Inertia Engineering was commissioned by QM Properties to prepare a Flood Report for the proposed development at Hedley Park Estate, Woolmar to support a development application for Stage 11.

Local flood events have been analysed using a TUFLOW rain-on-grid model with point inflows for developed stages. This model incorporates the local catchment which contributes to the series of ponds which discharge to Menzies Lagoon. The post-development scenario incorporates works to create additional detention storage within the catchment in accordance with the stormwater masterplan. TUFLOW modelling has demonstrated that the works will not increase peak flood levels or flow rates external to the site.

The stormwater quality management strategy has the following components:

- Majority of Stage 11 to be treated by bioretention basins, which are to be constructed as part of Stages 9 and 10
- A portion (sub catchment C4) to be treated by future Stage 12 bioretention basin

It is noted that the depth of flow and DxV across Overlanded Avenue are in excess of QUDM recommendations, however the post-development works do not increase flooding to Overlander Avenue.

6 References

QUDM (2016) – Queensland Urban Drainage Manual Fourth Edition, 2016

TUFLOW (2020) – BMT Group LTD, Version 2020-03-AE

WATER TECHNOLOGY (2010) – Somerset Floodplain Management Plan



Appendix A – Development Layout

PRELIMINARY - FOR
INFORMATION PURPOSES
ONLY

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

This plan was prepared as a provisional layout to accompany a development application. The information on this plan is not suitable for any other purpose.

Property dimensions, areas, numbers of lots and contours and other physical features shown have been compiled from existing information and may not have been verified by field survey. These may need verification if the development application is approved and development proceeds, and may change when a full survey is undertaken or in order to comply with development approval conditions.

No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

Saunders Havill Group therefore disclaims any liability for any loss or damage whatsoever or howsoever incurred, arising from any party using or relying upon this plan for any purpose other than as a document prepared for the sole purpose of accompanying a development application and which may be subject to alteration beyond the control of the Saunders Havill Group. Unless a development approval states otherwise, this is not an approved plan.

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PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES OBTAINED FROM IDENT SURVEY
PROVIDED BY CLIENT DATED 9TH SEPT 2022

LEGEND

- Site Boundary (reinstatement by others)
- Existing Approval
- Stage Boundary
- Major Contour (1.0m interval)
- Indicative Bin Pad location

potential road dedication
subject to detailed
investigations

STAGING TABLE		
STAGE	STAGE AREA	TOTAL YIELD
9 (APPROVED)	3.754ha	36
10 (APPROVED)	6.074ha	33
11	4.407ha	40
12	5.412ha	37
13	6.467ha	39
14	4.194ha	37
15	3.406ha	29
16	4.106ha	29
17	3.835ha	30
18	2.924ha	25
19	3.088ha	27
TOTAL	47.667ha	362

DEVELOPMENT STATISTICS			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
500m ² - < 599m ²	2	0.6%	0.111 ha
600m ² - < 799m ²	66	18.2%	4.388 ha
800m ² - < 999m ²	232	64.1%	19.249 ha
> 1000m ²	62	17.1%	7.481 ha
Total Residential Allotments	362	100.0%	31.229 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	53.733 ha	—	
Net Residential Area (no roads)	31.229 ha	58.1%	
Detention / Drainage	1.316 ha	2.4%	
Local Park	0.157 ha	0.3%	
Open Space	4.275 ha	8.0%	
Pedestrian Link	0.172 ha	0.3%	
Road Areas	10.522 ha	19.6%	
Existing Stage 7 & 8	6.062 ha	11.3%	
Total	53.733 ha	100.0%	

RP DESCRIPTION: Lot 914 on SP282074 & 912 on SP231462

SCALE @A1 1:2000 @A3 1:4000 - LENGTHS ARE IN METRES



Q M PROP CO No.3 PTY LTD

HEDLEY DRIVE, WOOLMAR 18/06/2024 10703 P 03 Rev Q -CP 01



Appendix B – Catchment Plan



REV	DESCRIPTION	DATE	BY	CHKD BY	DESIGNED BY	CHECKED BY	DATE	SCALE	PROJECT	DRAWING TITLE	FOR INFORMATION
1	ISSUE FOR DA APPROVAL	12.06.20	BDM	SL	BENJAMIN M.	BENJAMIN M.	12.06.20	1:1000	HEDLEY PARK ESTATE STAGE 11	STORMWATER DRAINAGE POST DEVELOPMENT CATCHMENT PLAN	9896-1101 SK-501 B
2	FOR INFORMATION	17.06.21	DM	SL	BENJAMIN M.	BENJAMIN M.	17.06.21	1:1000	HEDLEY PARK ESTATE STAGE 11	STORMWATER DRAINAGE POST DEVELOPMENT CATCHMENT PLAN	9896-1101 SK-501 B
3	DESCRIPTION	2020	2020/06	REVISION	NATTT LUGNELYN	NATTT LUGNELYN	2020/06	1:1000	HEDLEY PARK ESTATE STAGE 11	STORMWATER DRAINAGE POST DEVELOPMENT CATCHMENT PLAN	9896-1101 SK-501 B



INERTIA ENGINEERING PTY LTD

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Infrastructure Charges Notice

Section 119(2) of the *Planning Act 2016*

1 Infrastructure charge details

Notice details

Date: XXX
Notice number: XXX

Development approval to which levied charge applies

Approval reference: DA25207

Applicant: QM Prop Co No.3 Pty Ltd
C/- Saunders Havill Group
9 Thompson Street
BOWEN HILLS QLD 4006

Approval description: Development Permit for Reconfiguring a Lot (1 lot into 38 lots)

Premises to which the levied charge applies

Site address: Hedley Drive, Woolmar
Real property description: Lot 914 SP339564
Charge area: Charge Area A

Details of the levied charge

Charges resolution: *Charges Resolution (No. 1) 2024*

Current amount of the total
levied charge: **\$623,080.00**

Automatic increase of the levied
charge: The amount of the levied charge is subject to an automatic
increase. Refer to the information notice attached to this notice
for more information on how the increase is worked out.

When payable:
Section 112 of the *Planning Act
2016*. Reconfiguring a lot—when Council approves the plan of
subdivision for the reconfiguration

Offsets or refunds: Council has identified that an offset is available for the
provision of trunk infrastructure.

Other adjustments: Not applicable

2 Type of infrastructure charges notice

This is an original infrastructure charges notice under section 119(2) of the *Planning Act 2016*.

3 How the levied charge is worked out

Stormwater network

Category	Description	Stage	Demand (+)/ Discount (-)	Demand units	Charge rate	Amount
Residential uses	RAL - Stage 11		38.00	lot (3-or-more bedroom dwelling)	\$4,721.00	\$179,398.00
Residential uses	RAL - Stage 11		-1.00	lot (3-or-more bedroom dwelling)	\$4,721.00	-\$4,721.00
Initial charge for network						\$174,677.00

Public parks and community land network

Category	Description	Stage	Demand (+)/ Discount (-)	Demand units	Charge rate	Amount
Residential uses	RAL - Stage 11		38.00	lot (3-or-more bedroom dwelling)	\$7,128.00	\$270,864.00
Residential uses	RAL - Stage 11		-1.00	lot (3-or-more bedroom dwelling)	\$7,128.00	-\$7,128.00
Initial charge for network						\$263,736.00

Transport network

Category	Description	Stage	Demand (+)/ Discount (-)	Demand units	Charge rate	Amount
Residential uses	RAL - Stage 11		38.00	lot (3-or-more bedroom dwelling)	\$4,991.00	\$189,658.00
Residential uses	RAL - Stage 11		-1.00	lot (3-or-more bedroom dwelling)	\$4,991.00	-\$4,991.00
Initial charge for network						\$184,667.00

Summary of initial charges

	Stormwater network	\$174,677.00
	Public parks and community land network	\$263,736.00
	Transport network	\$184,667.00
	Total initial levied charge	\$623,080.00

Notes

- [1] The charge rate is the current rate of the adopted charge identified in Table 2 of the Charges Resolution, capped at the Council proportion of the maximum adopted charge.
- [2] In accordance with Section 3.3 of the Charges Resolution, a discount may not exceed the adopted charge for each network. Where there are any surplus discounts, these will not be refunded, except at Council's discretion through entering an infrastructure agreement, where the surplus discounts may be attached to the land.

4 Details of any charges reductions

A reduction in the adopted charges is not applicable for this development.

5 Details of any offset or refunds

5.1 Application of an offset or refund

Pursuant to section 121(1)(f) of the *Planning Act 2016*, the Infrastructure Charges Notice must state details of the offset or refund where a development approval includes a development condition to provide necessary trunk infrastructure and an adopted charge applies to the development.

Where the establishment cost for the trunk infrastructure is equal to or less than the levied charge, the cost will be offset against the levied charges (an **offset**).

Where the establishment cost for the trunk infrastructure is more than the levied charge and the trunk infrastructure has been provided:

- a) there is no amount payable for the development approval; and
- b) Council will provide a refund to the applicant for the difference between the establishment cost of the trunk infrastructure and the levied charge (a **refund**), in accordance with the provisions of the Charges Resolution.

The scope and establishment costs for the trunk infrastructure identified in this notice is an indicative preliminary estimate only and will not be used as the basis for determining the value of an offset or refund unless agreed to under section 8.2.6 of the Charges Resolution.

5.2 Trunk infrastructure details

Establishment cost for trunk infrastructure

Infrastructure item ID number	Item description	Condition number	Establishment cost
TRF10	Hedley Drive	DA ref: 25207 Condition 2.17	\$155,727.60
TOTAL			\$155,727.60

Notes

- [3] The establishment cost estimate is indicative only and is to be recalculated following detailed design and quantification of trunk infrastructure requirements based on the methodology contained in the Charges Resolution.

6 Other details

Should you have any questions in relation to this infrastructure charges notice, please contact Council's planning section on (07) 5424 4000 or mail@somerset.qld.gov.au.

Yours sincerely,

Andrew Johnson
Chief Executive Officer

ICN Information Notice

About the notice

Decision and reasons for the charge

This infrastructure charges notice has been given in accordance with section 119 of the *Planning Act 2016* to support Council's long-term infrastructure planning and financial sustainability.

Representations about this notice

The person given this infrastructure charges notice may make representations to Council within the relevant appeal period in accordance with Chapter 4, part 2, subdivision 5 of the *Planning Act 2016*.

Appeals about this notice

The person given this infrastructure charges notice may appeal the decision to be given the notice. Enclosed is an extract from the *Planning Act 2016* that details your appeal rights.

Charges for the water and wastewater networks

This infrastructure charges notice does not include details about charges or infrastructure required for the water and wastewater networks controlled by the Central SEQ Distributor-Retailer Authority, trading as Urban Utilities.

About the charge

Automatic increase provision of levied charge

The levied charge is to be increased by the difference between the Producer Price Index (PPI) applicable at the time the charge was levied, and the PPI Index applicable at the time of payment of the levied charge, adjusted by reference to the 3-yearly PPI Index average.

If the levied charge is increased using the method described above, the charge payable is the amount equal to the sum of the charge as levied and the amount of the increase. However, the sum of the charge as levied and the amount of the increase is not to exceed the maximum adopted charge the Council could have levied for the development at the time the charge is paid.

3-yearly PPI index average is defined in section 115 of the *Planning Act 2016* and means the PPI index smoothed in accordance with the 3-year moving average quarterly percentage change between quarters. PPI Index is the producer price index for construction 6427.0 (ABS PPI) index number 3101 – Road and Bridge construction index for Queensland published by the Australian Bureau of Statistics.

Goods and services tax (GST)

The Federal Government has determined that contributions made by developers to Government for infrastructure and services under the *Planning Act 2016* are GST exempt.

To whom the charge must be paid

Payment of the levied charge must be made to Somerset Regional Council via Customer Service or Planning and Development Department, PO Box 117, Esk, Qld 4312.

Payment

This notice is due and payable by the due time shown. Cheques, money orders or postal notes should be made payable to Somerset Regional Council and crossed "Not Negotiable". Change cannot be given on cheque payments. Property owners will be liable for any dishonour fees.

Overseas payees

Please forward your payment by way of bank draft for the required amount in Australian dollars.

How to pay

Contact Council's planning section to obtain a payment advice notice. The payment advice notice will detail the amount payable and the methods of payment available.

Enquiries about this notice or the charge

Enquiries regarding this infrastructure charges notice should be directed to Somerset Regional Council, Planning and Development Department, during office hours, on (07) 5424 4000 or mail@somerset.qld.gov.au.

Extract of Appeal Provisions – Infrastructure Charges

Planning Act 2016

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states:
 - a. matters that may be appealed to:
 - i. either a tribunal or the P&E Court; or
 - ii. only a tribunal; or
 - iii. only the P&E Court; and
 - b. the person:
 - i. who may appeal a matter (the **appellant**); and
 - ii. who is a respondent in an appeal of the matter; and
 - iii. who is a co-respondent in an appeal of the matter; and
 - iv. who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is:
 - a. for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - b. for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - c. for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - d. for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - e. for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - f. for an appeal relating to the *Plumbing and Drainage Act 2018*:
 - i. for an appeal against an enforcement notice given because of a belief mentioned in the *Plumbing and Drainage Act 2018*, section 143(2)(a)(i), (b) or (c)—5 business days after the day the notice is given; or
 - ii. for an appeal against a decision of a local government or an inspector to give an action notice under the *Plumbing and Drainage Act 2018*—5 business days after the notice is given; or
 - iii. for an appeal against a failure to make a decision about an application or other matter under the *Plumbing and Drainage Act 2018*—at anytime after the period within which the application or matter was required to be decided ends; or
 - iv. otherwise—20 business days after the day the notice is given; or
 - g. for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note:

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about:
 - a. the adopted charge itself; or
 - b. for a decision about an offset or refund:
 - i. the establishment cost of trunk infrastructure identified in a LGIP; or
 - ii. the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that:
 - a. is in the approved form; and
 - b. succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.

- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to:
 - a. the respondent for the appeal; and
 - b. each co-respondent for the appeal; and
 - c. for an appeal about a development application under schedule 1, section 1, table 1, item 1—each principal submitter for the application whose submission has not been withdrawn; and
 - d. for an appeal about a change application under schedule 1, section 1, table 1, item 2—each principal submitter for the application whose submission has not been withdrawn; and
 - e. each person who may elect to be a co-respondent for the appeal other than an eligible submitter for a development application or change application the subject of the appeal; and
 - f. for an appeal to the P&E Court—the chief executive; and
 - g. for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The **service period** is:
 - a. if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - b. otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent to an appeal by filing a notice of election in the approved form:
 - a. if a copy of the notice of appeal is given to the person—within 10 business days after the copy is given to the person; or
 - b. otherwise—within 15 business days after the notice of appeal is lodged with the registrar of the tribunal or the P&E Court.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.

231 Non-appealable decisions and matters

- (1) Subject to this chapter, section 316(2), schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section:

decision includes:

 - a. conduct engaged in for the purpose of making a decision; and
 - b. other conduct that relates to the making of a decision; and
 - c. the making of a decision or the failure to make a decision; and
 - d. a purported decision; and
 - e. a deemed refusal.

non-appealable, for a decision or matter, means the decision or matter:

 - a. is final and conclusive; and
 - b. may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
 - c. is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

232 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

Schedule 1 Appeals

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to:
 - a. the P&E court; or
 - b. a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves:
 - a. the refusal, or deemed refusal of a development application, for:
 - i. a material change of use for a classified building; or
 - ii. operational work associated with building work, a retaining wall, or a tennis court; or
 - b. a provision of a development approval for:
 - i. a material change of use for a classified building; or
 - ii. operational work associated with building work, a retaining wall, or a tennis court; or
 - c. if a development permit was applied for—the decision to give a preliminary approval for:
 - i. a material change of use for a classified building; or
 - ii. operational work associated with building work, a retaining wall, or a tennis court; or
 - d. a development condition if:
 - i. the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and
 - ii. the building is, or is proposed to be, not more than 3 storeys; and
 - iii. the proposed development is for not more than 60 sole-occupancy units; or
 - e. a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - f. a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - g. a matter under this Act, to the extent the matter relates to the Building Act other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - h. a decision to give an enforcement notice:
 - i. in relation to a matter under paragraphs (a) to (g); or
 - ii. under the *Plumbing and Drainage Act 2018*; or
 - i. an infrastructure charges notice; or
 - j. the refusal, or deemed refusal, of a conversion application; or
 - k. a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves:
 - a. for a matter in subsection (2)(a) to (d):
 - i. a development approval for which the development application required impact assessment; and
 - ii. a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - b. a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.
- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table:
 - a. column 1 states the appellant in the appeal; and
 - b. column 2 states the respondent in the appeal; and
 - c. column 3 states the co-respondent (if any) in the appeal; and
 - d. column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.
- (8) In this section:
storey see the Building Code, part A1.1.

Table 1 [Extract Only] Appeals to the P&E Court and, for certain matters, to a tribunal			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
<p>4 Infrastructure charges notices</p> <p>An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds:</p> <p>a. the notice involved an error relating to:</p> <p> i. the application of the relevant adopted charge; or</p> <p> <i>Examples of errors in applying an adopted charge:</i></p> <p> a. <i>the incorrect application of gross floor area for a non-residential development</i></p> <p> b. <i>applying an incorrect ‘use category’, under a regulation, to the development</i></p> <p> ii. the working out of extra demand, for section 120; or</p> <p> iii. an offset or refund; or</p> <p>b. there was no decision about an offset or refund; or</p> <p>c. if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or</p> <p>d. for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.</p>			
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—

Table 2 [Extract Only] Appeals to the P&E Court only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
[No relevant provisions]			

Table 3 [Extract Only] Appeals to a tribunal only			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
[No relevant provisions]			

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Luke Hannan, Director Planning and Development
Director: Luke Hannan, Director Planning and Development
Date: 18 February 2025
Subject: Planning and Development Department Monthly Report – January 2025
File Ref: Governance/Reporting/Officer Reports
Action Officer: DPAD, ESM, SP, NRMO, BRO

Report

A summary of the Department's activities during the month of January 2025 is provided for Council's information.

Planning

	January 2024	January 2025	FYTD
Received			
Building Works assessable against the Planning Scheme	8	8	67
Material Change of Use	1	14	43
Reconfiguring a Lot	1	3	15
Operational Works	1	2	15
Combined Applications	-	-	3
Referral Applications	-	3	18
Total	11	30	161
Decided			
Refused - Council	-	-	1
Refused - Delegated Authority	-	-	1
Approved - Council	1	1	6
Approved - Delegated Authority	5	18	100
Total	6	19	108

For a full list of applications received in the past 30 days, please refer to [eServices](#).

Planning and Environment Court Appeals

Rayland Development Pty Ltd v Somerset Regional Council

Planning and Environment Court Appeal No. BD1370 of 2023

DA22581 – Reconfiguring a Lot by Subdivision (two lots into 83 lots in five stages) at 60 Millar Road and 169 Fairneyview Fernvale Road, Fernvale.

Refused by Council on 12 April 2023.

FVLH Developments Pty Ltd v Somerset Regional Council

Planning and Environment Court Appeals No. BD1952 and BD1954 of 2023

DA9400 at Muckerts Lane, Fernvale.

Deemed Refusal.

Energex Limited v Somerset Regional Council

Planning and Environment Court Appeal No. BD2126 of 2023

DA21832 – Material Change of Use for a Low Impact Industry, Warehouse and Office and Operational Works for Vegetation Clearing at Highland Street, Esk.

Refused by Council on 21 June 2023.

Building

	January 2024	January 2025	FYTD
Status			
Accepted Applications	48	51	476
Approved - Council	1	5	29
Approved - Private Certifier	45	46	420
Referral Applications	0	4	24

An overview of the building approvals across the region is provided in Appendix 1.

Plumbing

	January 2024	January 2025	FYTD
Status			
Approved	33	12	196
Info Request	9	4	25
Total	42	16	221
Plumbing Inspections	72	61	631

Mid-Brisbane (Black Snake Creek Catchment) Wastewater Risk Mitigation Program

Council's plumbing inspectors have continued working through the next phase of the Wastewater Risk Mitigation Program within Mid-Brisbane (Black Snake Creek Catchment). Twenty-one eligible properties in the Glamorgan Vale area were sent invitations to apply for an upgrade subsidy; eight of which have volunteered for an inspection, with six inspections resulting in the allocation of funding.

Mid-Brisbane (Fernvale Catchment) Wastewater Risk Mitigation Program

Council's plumbing inspectors have started the next phase of the Wastewater Risk Mitigation Program within the Mid-Brisbane (Fernvale Catchment). Forty-Six properties in the Fernvale Area were sent invitations to apply for an upgrade subsidy. Seven properties have volunteered for an inspection, with seven inspections resulting in allocation of funding.

Development Compliance

Planning Compliance Matters

Non-compliant planning / land use activities under investigation in this period include but are not limited to:

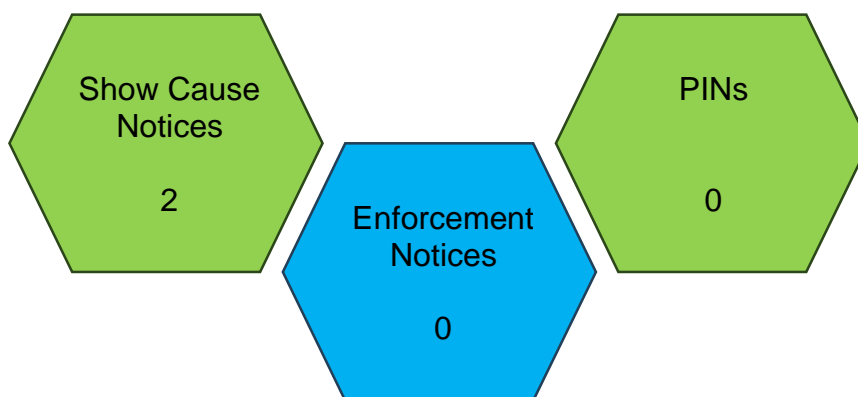
- Function Facilities
- Animal Keeping
- Workshops / Vehicle Sales
- Transport Depot
- Vegetation Clearing
- Large scale operational works (earthmoving).
- Unlawful Use of Premises
- Breach of Conditions of Approval.

Activities located in Esk, Toogoolawah, Wanora, Coal Creek, Winya, Glamorgan Vale, Clarendon, Fernvale, Hazeldean, Kilcoy.

Building Compliance Matters

The following are non-compliant building activities in January:

- Permit completion reminders have been sent about existing building permits in: Buaraba, Coominya and Lowood.
- Several stormwater discharge complaints: 3
- Unlawful Use of Premises: 6
- Unlawful Plumbing Work: 2



Environmental Health and Regulatory Services

Food Safety Training

Council subscribes to the I'm ALERT food safety training package which offers food businesses, community groups, schools and the general public access to free online interactive food safety training. Just go to www.somerset.imalert.com.au

A total of 13 users completed the training during the month of January.

Swimming Pool Water Quality Monitoring

Water sampling was conducted at Council's swimming pools located at the Toogoolawah, Kilcoy and Lowood. Samples were submitted to Queensland Health for analysis to check compliance with the *Queensland Health Water Quality Guidelines for Public Aquatic Facilities, 2019*.

Mosquito Monitoring

Officers have commenced the annual mosquito surveillance program for the 2024-2025 financial year. Monitoring activities were conducted in the towns of Kilcoy and Jimna in the month of January. The main aim of the annual surveillance program is to establish the level of confidence in:

- the assumption that mosquitoes *Aedes aegypti* or *Aedes albopictus* are not present in the Somerset Region; and
- the likelihood of early detection – to facilitate eradication.

An overview of the section activities for the month can be seen in Appendix 2.

Pest Management Invasive Animal Control

Wild Dogs – January 2025

1080 Baits

9Kg



10

Scalps presented

Area's baiting: England Creek, Sheep Station Creek.

Feral Pigs – January 2025

1080 Grain

0Kg



111

Scalps presented

Area's baiting: -

Rabbits

Officers have been working with landholders to control rabbit infestations in the following areas:

- Sandy Creek

There has been reports of rabbits being impacted by Calicivirus and Myxomatosis across the region.



Officers are continuing to work closely with Seqwater in controlling rabbits around Somerset Dam and on ground baiting at Kirkleah campgrounds. 4 rabbits trapped Toogoolawah.

Fox

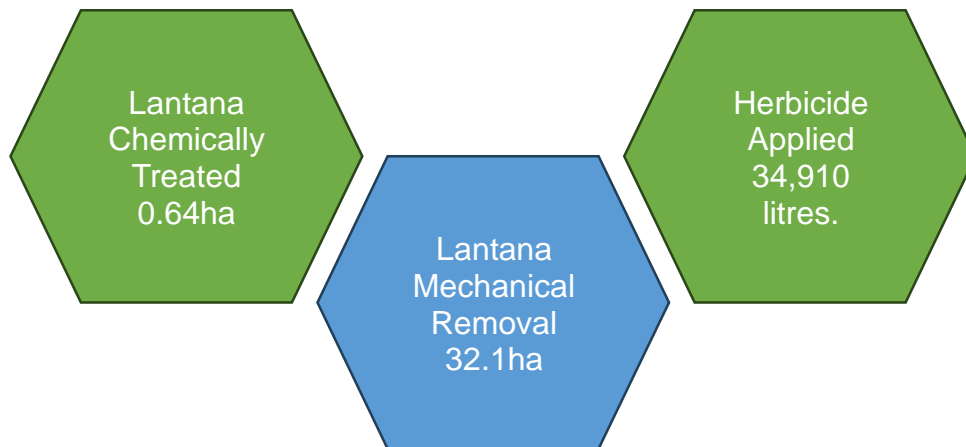
Pest Management Officers are continuing to monitor den sites that have been found and fumigated.



Fox breeding season - there has been an increase in reports of poultry being attacked and taken.

- Sandy Creek

Pest Management Invasive Plant Control



Fire Ant Suppression – Council Land

- There have been no active fire ant nests found on Council land during the month of January.

Other Pest Weed Treatments

Mother of Millions Annual Ragweed	Coominya Fernvale, Toogoolawah, Coominya, Braemore, Esk, Dundas, Mount Byron, Crossdale, Harlin, Colinton, Brightview, England Creek Road, Eskdale
Giant Rats Tail Grass	Linville, Moore, Harlin, Mount Kilcoy, Wivenhoe Pocket, Mount Kilcoy, Toogoolawah, Fernvale, Gregors Creek, Colinton, Lowood, Brightview
Leucaena	Dundas, Toogoolawah
Groundsel	Colinton, Kangaroo Creek

Prickly Pear	Linville
Lantana	Jimna, Yabba, Colinton, Mary Smokes Creek, Neurum, Mount Kilcoy, Brisbane Valley Highway
Element 15 (DTMR infrastructure)	Esk Kilcoy Road, Brisbane Valley Highway, Wivenhoe Somerset Road, Mount Glorious Road, Coominya Connection Road, Kilcoy Murgon Road, D'Aguilar Highway East and West, Foresthill Fernvale Road
Element 5 (DTMR invasive plants)	Esk-Kilcoy Road, Wivenhoe Somerset Road, D'Aguilar Highway
Council infrastructure	All local bridges, roadside furniture on high use local roads.

Lantana Chemical Subsidy Program

The 2024/25 lantana subsidy program first round has been closed at 60 applicants.

Compliance under the *Biosecurity Act 2014*:

	December 2024	January 2025
Information notices	-	10
Biosecurity Orders	-	-
Enter and Clear action	-	-

Natural Resource Management

Land for Wildlife

- Council welcomed one new Land for Wildlife property to the program at Biarra – 30 January 2025



Somerset Flora and Fauna

- Meeting with Healthy Land and Water 29 January 2025 to progress Koala threat management project proposals for Somerset Region.
- Meeting with Queensland Department of Environment, Science Tourism and Innovation regarding upcoming Koala Engagement grant opportunities – 30 January 2025.
- Officer participation in Landholder consultation regarding Esk Flying Foxes – 31 January 2025.

Catchment Management

- Resilient Rivers Project Updates:
 - A maintenance program (1 year) is delivering across all (6) Black Snake Creek properties (Somerset) treated through this program since inception.
 - Progress commenced on the Mid Brisbane River Reserves, with ongoing pest management being undertaken across multiple sites. Civil works are currently being reviewed and scheduled.
 - 2025 project proposals have been submitted to the Resilient Rivers program for consideration (early 2025).



Offsets – Planting

Delivery of Council's Capital Works Offsets:

- A maintenance contract is ongoing to support all of Somerset Regional Councils Brisbane Valley Rail Trail offset delivery (to

- date). Establishment is underway for the newly planted section between Yimbin Station and Cemetery Road at Braemore,
- Site preparations (mulch delivery) arrangements are ongoing at Eskdale Road, Toogoolawah to facilitate a future community planting/s. The intent of the planting/s is to enhance the existing vegetation/corridor linkage through town, supporting Koala habitat and safe passage.

Economic Development

Major Projects

- The “Support Our Somerset” campaign continues with great success on social media:
Dec posts: 11 (6 Facebook, 5 Instagram)
Total Reach: 18,261 (across Facebook and Instagram)
Reactions: 249
Shares: 34
- Planning commenced for additional businesses to be featured in the campaign.
- Funding application submitted for the Lowood Green Botanic Core to the *Green Urban Infrastructure Initiative* – SEQ City Deal.



Events

- Planning commenced for future workshops/forums
- Collaboration with relevant State departments to deliver Business Hubs and QRIDA pop-ups
- Planning continued for delivery of ‘Small Business Boost’ events using the LLER grant funding.

Stakeholder Engagement

- Proactive engagement with State Government agencies, including:
 - Small Business Friendly Commissioners Office
 - Department of Customer Service, Open Data and Small and Family Business
 - Queensland Rural Industry and Development Authority
- Plus, other peak industry organisations including Healthy Land and Water.
- Continued efforts to meet and build relationships with local businesses and primary producers with 9 interactions via planned town walks or workshops.



Somerset Regional Council Grant Finder – January 2025



Registrations

- 2 new registrations
- 285 total registrations
- Registrations are people that have registered to our portal via the signup form and are still active.



Alerts

- 2,165 emails sent
- 201 people with active alerts
- Email alerts sent to people requesting specific profile of grants



Grants

- 6,356 grants available worth \$83.6B
- Total number of grants available within our portal.

Recommendation

THAT the Department of Planning and Development Monthly Report for January 2025 be received and the contents noted.

Appendix 1 – Building Development Approval Overview

Building Approvals – January 2025																								
Locality	New Houses				Removal Dwellings				Alterations/Additions				Commercial/Industrial				Sheds/Carports/Pool				Demolitions			
	P Cert		Council		P Cert		Council		P Cert		Council		P Cert		Council		P Cert		Council		P Cert		Council	
	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)	(C)	(P)
Glamorgan Vale Village	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Minden Town/Village	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	9	-	1	-	-	-	-
Lowood Town	1	10	-	1	-	-	-	-	4	21	-	-	-	3	-	-	2	25	-	1	-	-	-	-
Fernvale Town	1	6	-	-	-	-	-	-	1	2	-	-	-	1	-	-	9	36	2	5	-	-	-	-
Esk Town	2	5	-	-	-	-	-	-	1	3	-	1	-	2	-	-	-	6	-	2	-	-	-	-
Toogoolawah Town	-	2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	4	-	2	-	-	-	-
Coominya Village	-	1	-	-	-	-	-	-	-	-	-	-	-	1	-	-	-	1	-	-	-	-	-	-
Somerset Village	-	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	1	1	-	-	-	-
Kilcoy Town	-	13	-	1	-	2	-	-	-	2	-	-	-	1	-	-	2	13	-	1	-	-	-	-
Harlin Village	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-
Villeneuve Village	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Moore Village	-	1	-	-	-	1	-	-	-	1	-	-	-	-	-	-	-	2	-	-	-	-	-	-
Linville Village	-	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Jimna Village	-	-	-	-	-	-	-	-	-	-	-	-	1	1	-	-	-	-	-	-	-	-	-	-
Wanora / G'vale Area	-	1	-	1	-	-	-	-	-	-	-	-	-	-	-	-	1	9	-	1	-	-	-	-
Lwd - Minden Corridor	1	15	-	-	-	2	-	-	4	23	-	2	-	-	-	-	2	36	-	1	-	1	-	-
WHPkt / Split'dCk / F'vale	-	6	-	-	-	1	-	-	-	3	-	-	-	-	-	-	2	17	-	1	-	1	-	1
Rural Esk	1	4	1	3	-	-	-	-	-	2	-	-	-	-	-	-	2	17	-	2	-	-	-	-
Rural Cya /Atk Dam	-	2	-	-	-	-	-	-	-	3	-	-	-	3	-	-	-	8	-	-	-	-	-	-
Rural Tgh / Harlin / C'ton	-	4	-	-	-	1	-	-	-	1	-	-	1	5	-	-	-	9	-	-	-	-	-	-
Rural S'Dam / Bryden	-	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1	1	-	-	-	-
Wool,r / Gregor Ck / H,dean	-	19	-	-	-	1	-	-	-	1	-	-	-	-	-	-	-	9	-	-	1	1	-	-
Rural Villen've / Mt Archer	-	2	-	-	-	-	-	-	-	1	-	-	-	1	-	-	1	6	-	-	-	-	-	-
Mt Kilcoy / Sand Ck /R'ston	2	5	-	-	-	-	-	-	2	5	-	-	-	-	-	-	2	12	-	-	-	-	-	-
Rural Moore / Linville	-	-	-	-	-	-	-	-	-	1	-	-	-	1	-	-	-	-	-	-	-	-	-	-
Rural Jimna	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Total	8	100	1	6	-	8	-	-	12	70	-	3	2	19	-	-	23	220	4	19	1	3	-	1

"C"=Current Month Total

"P"=Progressive Total for
Financial Yr

G:Buildoc/Reports/BuildStat
Jan2025

	Private Certifier	Council	Total
Number for Month	46	5	51
Value for the Month	\$6,453,045.00	\$224,239.00	\$6,677,284.00
Progressive YTD No	420	29	449
Progressive YTD Value	\$51,886,064.00	\$2,870,925.00	\$54,756,989.00

Appendix 2 - Environmental Services

	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June	24-25
Regulatory Services													
Dog Attack on a Person	1	0	0	1	3	2	1	-	-	-	-	-	8
Dog attack on Another Animal	2	3	1	3	1	0	3	-	-	-	-	-	13
Barking Dogs	10	8	5	4	6	3	6	-	-	-	-	-	42
Animal Issues - Miscellaneous	4	10	16	12	7	4	9	-	-	-	-	-	62
Dogs Wandering at Large	9	8	12	11	6	10	6	-	-	-	-	-	62
Livestock Wandering at Large	18	11	10	10	10	8	11	-	-	-	-	-	78
After Hours Emergency call out Dogs	0	0	1	0	0	1	1	-	-	-	-	-	3
After Hours Emergency call Out Stock	5	7	4	4	5	4	2	-	-	-	-	-	31
Request for Animal Traps	13	7	9	5	3	0	5	-	-	-	-	-	42
Request to Impound Animals	16	22	7	12	14	10	17	-	-	-	-	-	98
Abandoned Motor Vehicle	2	3	4	3	2	3	3	-	-	-	-	-	20
Illegal Camping	4	4	3	3	5	3	2	-	-	-	-	-	24
Visual Pollution	0	3	2	1	2	3	1	-	-	-	-	-	12
Local Law Investigations – other local law issues	3	6	4	11	3	2	0	-	-	-	-	-	29
Overgrown Allotments	4	2	5	12	10	28	40	-	-	-	-	-	101
Restricted activity – Selling Vehicles	0	0	0	0	0	0	0	-	-	-	-	-	0
Unlawful Materials on Footpath	0	0	2	0	2	0	0	-	-	-	-	-	4
Total Regulatory Services CSR's	91	94	85	92	79	81	107	-	-	-	-	-	629
Pest Management													
Pest Plants - Council Land	2	2	2	6	1	2	2	-	-	-	-	-	17
Pest Plants - Private Land	11	9	6	6	7	10	6	-	-	-	-	-	55
Pest Plants - Road Reserves	1	1	4	2	1	4	3	-	-	-	-	-	16
Pest Animals - General Enquires	2	8	7	13	7	6	8	-	-	-	-	-	51
Fire Ant Notifications – Council Land	0	0	0	1	0	0	0						1
Total Pest Management CSR's	16	20	19	28	16	22	19	-	-	-	-	-	140

Environmental Health1													
General Environmental Complaints	2	1	0	3	1	1	2	-	-	-	-	-	10
Food Premises Complaints	0	2	1	3	2	2	0	-	-	-	-	-	10
Miscellaneous Health Issues	0	0	2	3	1	2	0	-	-	-	-	-	8
Mosquito Complaints	0	0	1	0	0	0	1	-	-	-	-	-	2
Environmental Issues - Dust Nuisance	0	0	0	0	0	1	0	-	-	-	-	-	1
Environmental Issues - Light Nuisance	0	0	1	1	1	0	0	-	-	-	-	-	3
Environmental Issues - Noise Nuisance	0	3	1	2	2	1	1	-	-	-	-	-	10
Environmental Issues - Odour Nuisance	0	2	1	0	2	1	1	-	-	-	-	-	7
Environmental Issues - Smoke Nuisance	0	2	2	2	2	0	0	-	-	-	-	-	8
Environmental Issues - Water Pollution	0	1	0	0	0	0	2	-	-	-	-	-	3
Local Laws - Illegal Vending	0	0	0	0	0	0	0	-	-	-	-	-	0
Local Laws - Obstruction of Footpath by a Business	0	1	1	0	0	0	0	-	-	-	-	-	2
Litter and Illegal Dumping of Rubbish less than 200 litres	0	1	5	0	3	1	0	-	-	-	-	-	10
Illegal Dumping - over 200L	2	1	5	1	2	2	6	-	-	-	-	-	19
Illegal Dumping - Asbestos	0	0	0	0	0	0	2	-	-	-	-	-	2
Illegal Dumping – one of items – non-investigation	2	0	4	1	2	3	5	-	-	-	-	-	17
Illegal Dumping - Tyres	2	3	1	3	3	1	0	-	-	-	-	-	13
Total Environmental Health CSR's	8	17	22	19	21	15	20	-	-	-	-	-	125
Total all Environmental Services CSR's	115	131	129	139	116	118	146	-	-	-	-	-	894
Dog Registration													
Dogs Registered	4765	4804	4855	4876	4927	4971	4947	-	-	-	-	-	4947
Unpaid Notices	915	903	860	840	784	762	744	-	-	-	-	-	744
Infringement Notice Issued	3	10	4	14	6	2	17	-	-	-	-	-	56
Animal Pound Operations													
Dogs	12	11	4	10	15	13	16	-	-	-	-	-	81
Cats	18	10	7	12	10	2	15	-	-	-	-	-	74

Stock	0	1	2	0	0	3	1	-	-	-	-	-	7
Inspections and Approvals													
Food Business Inspections	3	2	12	6	9	3	3	-	-	-	-	-	38
Food Business Re-inspections	0	0	0	1	1	1	2	-	-	-	-	-	5
Food Business Licence Applications	71	20	2	2	9	1	1	-	-	-	-	-	106
Kennel Inspections	0	0	0	0	0	0	0	-	-	-	-	-	0
Poultry Farm Inspections	0	0	0	0	2	1	1	-	-	-	-	-	4
Local Law - Prescribed Activity Approvals	0	1	6	2	5	10	7	-	-	-	-	-	31

**CORPORATE AND COMMUNITY SERVICES
SOMERSET REGIONAL COUNCIL - Officer's Report**

To: Andrew Johnson – Chief Executive Officer

From: Robyn King – Executive Support Officer

Director: Daniel Rowe - Director Corporate and Community Services

Date: 7 February 2025

Subject: Fernvale Recreation Grounds Advisory Committee Meeting

File Ref: Community Services - Meetings – 2024 – 2028 – Fernvale Recreation
Grounds Advisory Committee

Action Officer: ESO - RK

Background/Summary

The Fernvale Recreation Grounds Advisory Committee meet quarterly to review the operation of the facility. The quarterly meeting of the Committee was held Tuesday, 4 February 2025.

Items of note from the meeting include discussions regarding the arena resurfacing works to be undertaken by the Fernvale Campdraft Association and upcoming event.

Attachments

Meeting Report Fernvale Recreation Grounds Advisory Committee 4 February 2025.

Recommendation

THAT Council receive the meeting report for the quarterly meeting of the Fernvale Recreation Grounds Advisory Committee 4 February 2025.



**Meeting report for Fernvale Recreation Grounds Advisory
Committee meeting
held Tuesday, 4 February 2025**

6pm

*Fernvale Visitor Information Centre – Training Room, 1483 Brisbane Valley Highway,
Fernvale*

Present	
Cr Helen Brieschke	Somerset Regional Council
Cr Sally Jess	Somerset Regional Council
Mr Daniel Rowe	Somerset Regional Council
Joel Hill	Fernvale Campdraft Association
Andrew Stallman	Fernvale Campdraft Association
Observer	
Katrina Milson	Lowood Fernvale Pony Club
Vanessa Bird	Lowood Fernvale Pony Club

Item 1. Opening of meeting

The Chair, Cr Helen Brieschke opened the meeting at 6.03pm.

Item 2. Apologies

Nil.

Item 3. Confirmation of previous meeting report

The meeting report of the Fernvale Recreation Grounds Advisory Committee held 19 November 2024, was circulated to all members.

General consensus that the meeting report be confirmed.

Item 4. Business arising from previous meeting report

Nil.

Item 5. Progress of actions from previous meetings

Meeting date	Item No.	Progress of Actions / Recommendations from Previous Meetings	Action Officer
19 Nov 2024	4a.	Item: Progress of actions: Memorandum of Understanding (MoU) Action: Signing of the MoU 4 Feb 2025: Campdraft Assoc will review and provide feedback of the MoU following their next committee meeting scheduled for 5 February 2025.	Council Status: Add to August 2025 agenda.

19 Nov 2024	4a.	<p>Item: Progress of actions: MoU stakeholder feedback. Stakeholders noted the perimeter fence is incomplete with a gap between the grounds on either side of the Community Hall.</p> <p>Action: Council to source quote/s for 100m fencing gap either side of the community Hall. Council will contact Joel while a contractor is on site to determine proposed locations</p> <p>4 Feb 2025: Council awaiting quote from contractors. Campdraft requested gap in white fence near “Time Capsule” to be repaired.</p> <p>Action: Council to investigate further.</p>	<p>Council</p> <p>Status: Add to August 2025 agenda.</p>
19 Nov 2024	6a.	<p>Item: General business: Lowood Fernvale Pony Club operations. Maintenance issues.</p> <p>Actions: Council to investigate:</p> <ul style="list-style-type: none"> i. water on the floor in the disabled toilets ii. clear roof sheeting over the men’s toilets has gaps that let rain in iii. driveway is washed out iv. tree trimming is required. <p>4 Feb 2025:</p> <ul style="list-style-type: none"> i. Caused by back flow of water from external concrete – to be fixed ii. Not located – Pony Club to show exact location iii. Further updates to be provided at August 2025 meeting iv. Further updates to be provided at August 2025 meeting. 	<p>Council</p> <p>Status: Add to August 2025 agenda.</p>
19 Nov 2024	6b.	<p>Item: General business: Campdraft arena resurfacing.</p> <p>Actions:</p> <ul style="list-style-type: none"> i. Campdraft to provide a detailed, itemised quote (e.g. materials, plant, site clean-up etc.) and a progress schedule of works to Council. Documents to be received by Council by the end of November 2024, to allow the topic to be taken to Council’s December meeting. ii. Council to email previous quotes with deco granite back to Campdraft. <p>4 Feb 2025: The Campdraft Assoc provided the quote to Council. Council resolved to engage the Campdraft Assoc to undertake the works to resurface the arena per the quote at the December 2024 Ordinary meeting, pending the execution of an MoU between the parties. Once MoU is signed, Council can issue a purchase order to Campdraft Association and works can commence. Campdraft advised work commencement is contingent on weather and will not be undertaken prior to the March 2025 Campdraft event. Pony Club requested consideration for the works to be completed by May 2025 Pony Club event.</p>	<p>Campdraft/Council</p> <p>Status: Add to August 2025 agenda.</p>

Item 6. Fernvale Recreation Grounds financial report

An overview was given of recurrent revenue and recurrent expenditure of the Fernvale Recreation Grounds for the quarter to 15 January 2025.

General consensus that the financial report be received and noted.

Note: following the meeting Council emailed representatives explaining the increased expenditure for Ground maintenance of Col Powell Park was for ground repairs ahead of a July 2024 event following an unseasonably wet month and damage to the grounds from illegal motorbike riding.

Item 7. Correspondence

Nil.

Item 8. Fernvale Recreation Grounds booking calendar

Bookings calendar for February 2025 – January 2026 for Col Powell Park and Fernvale Community Hall reviewed.

Item 9. General business

- a. Showgrounds Network Review
Council advised the Showgrounds Network Review Report is now online;
<https://www.somerset.qld.gov.au/downloads/file/4088/showgrounds-network-review>. The Review Report is assisting Council plan and prioritise works, projects and investment in the Showgrounds throughout the region.

Council will email a link to the report to all representatives.
- b. Storage sheds
Actions: Council will investigate:
 - i. the purpose of the garden shed on eastern side of the Community Hall
- c. Pest control – what does this service cover?
Action: Council to investigate what the service covers and provide information to representatives.
- d. Portable, mobile grandstands
Campdraft advised there are no grandstands onsite at the Fernvale Recreation Grounds. Council advised grandstands at other Recreation Grounds in the region are owned by the user groups, with some groups successfully applying for various grants to facilitate purchase.
- e. Locks on gates to prevent unlawful entry
Council is investigating what locks are currently in place and working towards changing all locks to a single master key system like other grounds in the region.
Action: Council to provide an update at next meeting.
- f. Poles previously used to display signs
Pony Club advised there are poles inside the grounds on the fence line near Banks Street side of the grounds and the signs are missing. Campdraft and Pony Club will discuss and come back to Council with proposal for signage.
Action: Campdraft Assoc and Pony Club to report back to Council at the next meeting as to how they wish to progress.
- g. Campdraft event 2025
Campdraft advised they will be sending a booking request for their Campdraft event scheduled for 21-23 March 2025.

h. Pony Club update

Pony Club requested slashing and whipper snipping of arena area prior to weekend event. Council advised slashing will be undertaken by Council contractors this week as a one-off service.

First muster will be held this weekend, with 32 signed up members and 50 people indicating they will be attending as "Come & Try" participants.

Five gold sponsors have provided funding for the club's startup.

Queensland-Off-The-Track are sponsoring the May 2025 Gymkhana.

Grants have been applied for to replace equipment that is old, unsafe and/or not working. The club will be catering for the Campdraft to assist with fundraising.

Item 10: Next meeting scheduled

Next meeting scheduled for 6pm Tuesday, 5 August 2025.

Item 11: Closure of meeting

There being no further business, the Chairperson closed the meeting at 6:50pm.





SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
 From: Sandy McFeeters, Community and Tourism Manager
 Director: Daniel Rowe, Director Corporate and Community Services
 Date: Monday, 10 February 2025
 Subject: Tourism and Promotions Report – January 2025
 File Ref: Tourism – Promotions
 Action Officer: CTM













Background/Summary

The following is the January 2025 summary of activities for Somerset Visitor Information Centres (VIC) and the Tourism team members.

Visitor Statistics

	Somerset	Brisbane	Other SEQ	Rest of State	Interstate	International	Total
 Esk VIC	65	56	50	14	8	6	199
 Fernvale VIC	192	186	123	40	19	9	561
 Kilcoy VIC	96	161	238	50	54	18	617
 The Condensery	82	27	56	11	0	2	178

Motivators

	First	Second	Third
Esk	 Maps and Directions	 Glen Rock Gallery	 Tourist Drives
Fernvale	 Maps and Directions	 Tourist Drives	 Fishing/Boating/Lakes
Kilcoy	 Maps and Directions	 Caravan and Camping	 Outdoor Activities
The Condensery	 Exhibitions	 Workshops/events	 Culture and Heritage

Active Volunteers



Esk

10

Fernvale	18
Kilcoy	7
TOTAL	35

Digital Media

Facebook



Likes 4.1K
Followers 4.8K (+49)
Reach 107.2K (+12%)
Engagement 631
Link clicks 3.6K

Website



Page Views: 9,459
Visitors: 5,611 new, 488 returning
Peak Time: Saturday, 4 January
Most Popular Pages: The Great Kilcoy Yowie Hunt landing Page, Experience Somerset, What's On, Markets
Device type: Desktop 18%, Mobile 70%, Tablet 12%

Instagram



Followers 1,863 (+14)
Reach: 3.5K (+55%)

Glen Rock Art Gallery (Esk Visitor Information Centre)

The Somerset Art Society presented 'A Wild Embrace' by Nikki Douthwaite. Nikki has used mixed media including oil on canvas and pencil to produce her own colourful take on some of the beautiful beasts that roam the Earth.

Visitor Information Centre Volunteer Famil

Planning has commenced for the first Volunteer Famil of 2025.

Volunteers were also invited to express their interest in attending the Queensland Country 'Queensland Welcomes You' workshops. These workshops are designed to help enhance the guest experience and boost Queensland's visitor economy and have been tailored for each of Queensland 13 unique tourism regions. Nine Volunteers from across Esk, Fernvale and Kilcoy will attend the workshop in Toowoomba on 25 February 2025.

Regional Tourism Organisation

New Queensland Country Tourism (QCT) collateral launched in January including a website, destination video and visitor guide. Experience Somerset purchased an ad on the back cover of the printed visitor guide.

QCT and Council are hosting a workshop for Somerset Operators on Tuesday, 18 February at the Esk Library on the Australian Tourism Data Warehouse and Best of Queensland Experiences Program. All operators have been invited to attend.

QCT is hosting an online and in person, *Queensland Country Welcomes You* Workshop in collaboration with TEQ. The in-person workshop will be held in Toowoomba on Tuesday, 25 February. Operators were encouraged to join the online program via the Somerset Operators newsletter. The tourism team are also looking to take interested volunteers to the in-person workshop.

QCT are developing an accessible visitor guide which will include selected Somerset tourism operators. Consultants have visited operators including The Condensery | Somerset Regional Art Gallery and photographers have been in the region to capture images for this project. Photos were provided for Council and operator use.

Tourism Operator Development

The next operator event, a morning coffee catch up is scheduled for Thursday, 3 April in Toogoolawah.

Council was successful in obtaining funding from the Queensland Tourism Industry Council Digital Adaptation Program for the Kilcoy Visitor Information Centre to utilise the services of the Cerge Content Management Platform to showcase accessibility features at the centre. The Cerge team attended the Kilcoy VIC in December to gather photos and video for use on the website. The listing is live on the Cerge App and website, and will be integrated into the Experience Somerset website in the February

The tourism team will be attending the Moreton Bay Expo at the Redcliffe Showgrounds from 14-16 February 2025 with Lockyer Valley Regional Council to showcase both regions camping and caravanning offerings. Somerset Tourism operators have been invited to attend the expo.

Regional Event Support and Development 2025

Officers are actively working with event organisers to encourage and support the development of new and existing regional events in 2025 and beyond, including agritourism, sporting, adventure race events and more.

Council and Experience Somerset have agreed to sponsor and provide event support to the following upcoming regional events:

- Summer Festival of Sprinting and Racing, hosted by Kilcoy Race Club (November – February 2025)
- BVRT Australia Day Bike Ride, hosted by Brisbane Valley Rail Trail Users Association (26 January 2025)
- Legends of Beef 2025, hosted by Brisbane Valley Farm Direct (Toogoolawah Showgrounds, 29 March 2025)
- Esk Garden Fair (Esk, June 2025).

Marketing Implementation Plan

Officers are actioning the Experience Somerset Marketing Plan and associated documents. Progress to date:

Complete	On track	Yet to be progressed	Behind/Beyond 2025
76%	3%	13%	8%

Marketing Campaigns

Experience Somerset's summer campaign, 'The Great Kilcoy Yowie Hunt' went live on Saturday, 7 December 2024 and will run through the school holidays until 7 February 2025. The campaign consists of a social media advertising campaign, landing page on the Experience Somerset website, children's activity book available at the VICs and The Condensery. Visitors are encouraged to enter the competition and win a stay at NRMA Lake Somerset Holiday Park.

Recent Campaign Results:

Campaign	Results
Summer 2024/25 campaign: "The Great Kilcoy Yowie Hunt in Somerset" Campaign objective: Drive traffic to campaign landing page on experiencesomerset.com.au	Landing page views: 5,827 Reach: 132,179 Impressions: 349,867

Collaborative marketing with Queensland Country Tourism: --2 week digital ad campaign --EDM sent 18 December --Social story – 8 slides	Impressions: 66,221 Link clicks: 650 EDM: 152 link clicks and 31.26% open rate Social story: 948 views
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Attachments

Nil.

Recommendation

THAT Council receive the Tourism and Promotions Report for the month of January 2025 and that the contents be noted.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson – Chief Executive Officer
From: Daniel Rowe – Director Corporate and Community Services
Director: Daniel Rowe – Director Corporate and Community Services
Date: 18 February 2025
Subject: Corporate and Community Services Monthly Report – January 2025
File Ref: SRC/Governance/Reporting
Action Officer: DCORP

Background/Summary

Details of the Corporate and Community Services report for the month of January 2025 are as follows:

Records

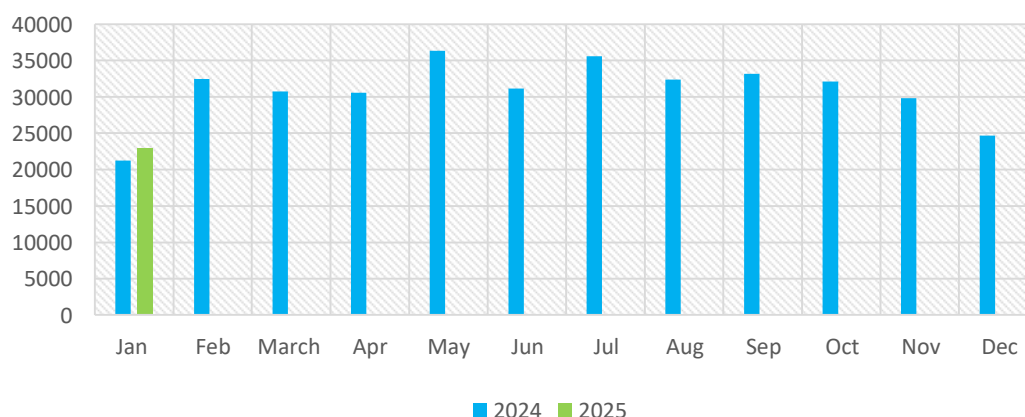
Documentation – At a Glance – January 2025

Inward/Actioned Documents – 2,846	Outward Correspondence – 1,521
Customer Service Requests – 586	Councillor Requests – Thirty two (32)
Emails Processed by the Records Team	
Corporate Mailbox - mail@ - 6,371	Internal Only Records Email – 10,693
Decision Notices/Workshop Outcomes – Decision Notices – 20 Workshop Actions – 16	Tender/Quotation – Tenders – Tenders Zero (0) Numbered Quotations – Zero (0)

Total Documents Registered for the month of January 2025 – 9,181

Email Traffic

Somerset Regional Council mail@somerset.qld.gov.au (Corporate Mailbox)



Graph: Monthly total records for 2025

Information and Communication Technology (ICT)

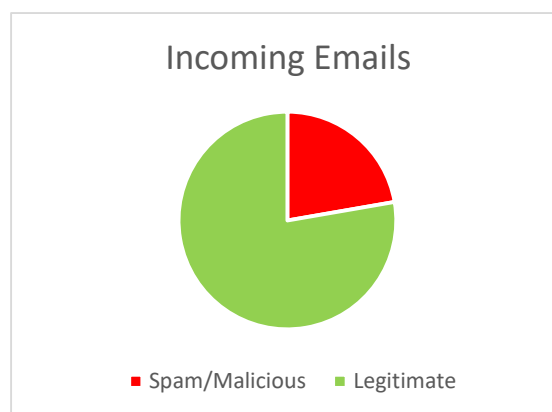
ICT's software and infrastructure upgrades continue in line with budgetary considerations and operational requirements. Work continues with implementing audit recommendations in line with target dates. ICT is performing an ongoing review of processes and procedures ensuring organisational tasks are consistent and complete. ICT has been working with the Operations department, in particular the facilities team, for a camera audit/overhaul to ensure relevant footage is available and accessible when needed.

Cyber Security

Total incoming emails have increased by 14 percent over January, with an increase of 18 percent to legitimate emails and a minor decrease for Spam/Malicious.

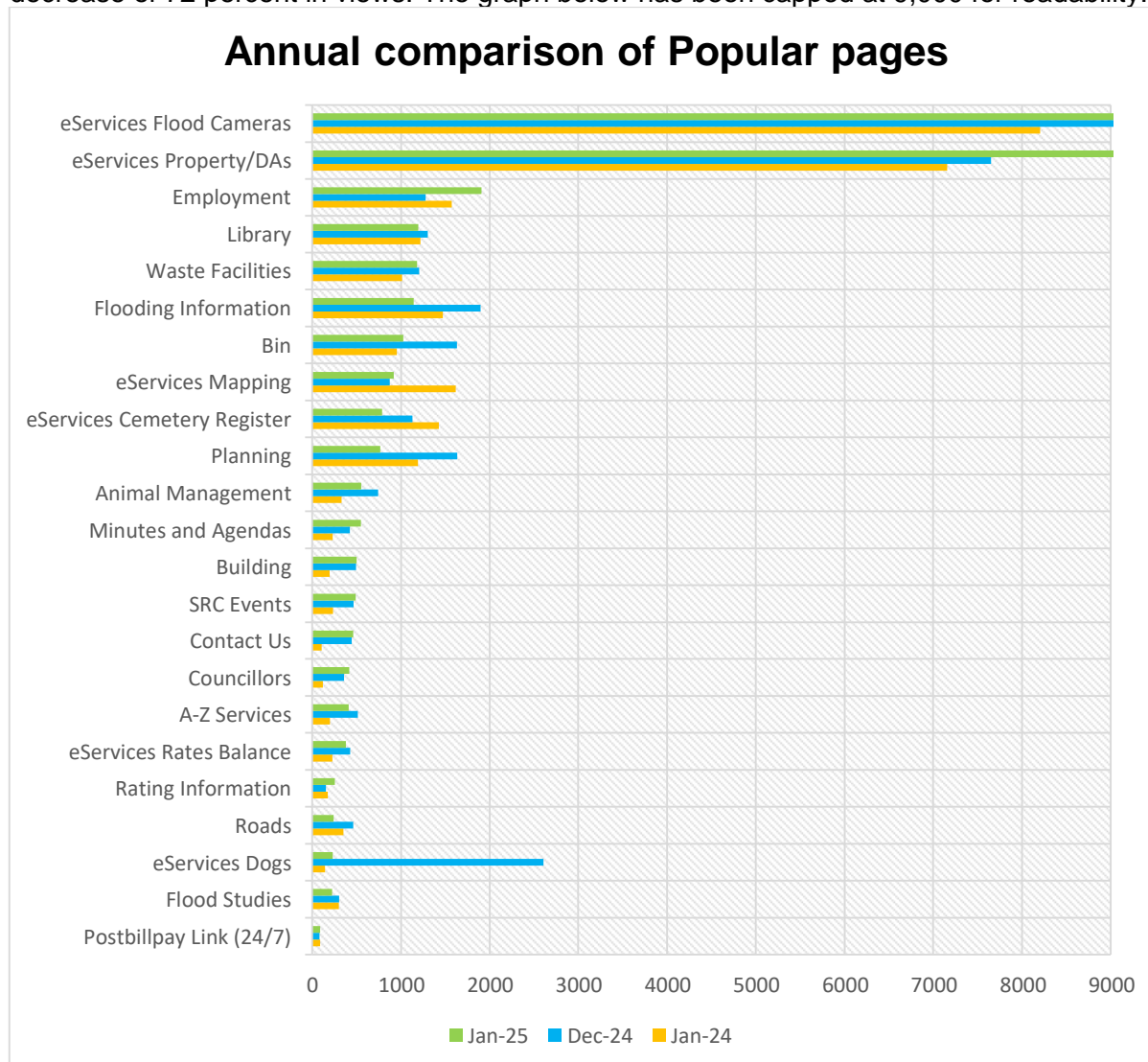
During January there had been 17 failed malicious sign-in attempts to staff Office365 accounts, showing the importance of Multi-factor Authentication (MFA) as a defence.

Phishing emails continue to target Office365, file sharing services and videoconferencing utilities, with several incoming malicious emails received from compromised email accounts at vendors and other government entities including Councils. Council continues to conduct internal quarterly phishing tests, which any staff member who fails the test will require additional training for compliance.



Websites

The primary corporate website (somerset.qld.gov.au) received 47,222 page views for January, a 3 percent increase. eServices (eservices.somerset.qld.gov.au) received 89,955, with a decrease of 72 percent in views. The graph below has been capped at 9,000 for readability.



Governance and Business Improvement Policy Review

Information Management and Security




Following adoption of the C015 Information Management and Security Policy at Council's Ordinary Meeting held 27 November 2024, the accompanying procedures being prepared for submission to the Chief Executive Officer have been progressed, training modules reviewed and an assessment undertaken to determine relevance and ongoing necessity of existing documents in Council's QA register related to this topic.

Preparations are also being made to accommodate changes required as a result of the *Information Privacy and Other Legislation Amendment Act 2023* (IPOLA Act) provisions applicable from 1 July 2025.

Social Media

Assistance was provided with the recent review of C020 Social Media Policy. This policy will be impacted by the IPOLA Act, taking effect in July 2025.






Arts and Culture

 Attendance at Cultural Venues	 Events	 Partnerships
7,918	62	1

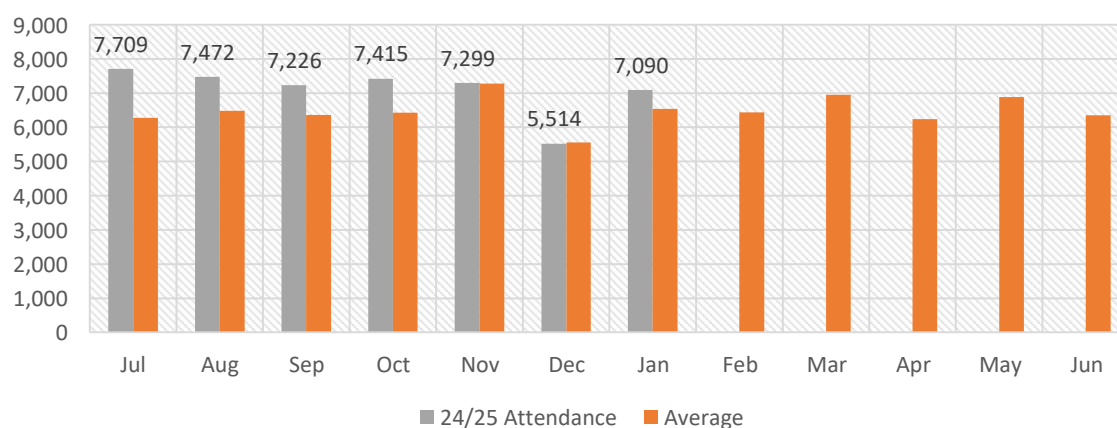
Events

The 2025 Somerset Celebrates - Australia Day festivities were held at the Somerset Civic Centre on Friday, 24 January 2025. The event hosted 320 community members for a Citizenship Ceremony, Australia Day Awards and a free community morning tea. Feedback received for the event has been extremely positive.

Somerset Libraries

 Physical Items Circulated	 Visitation	 Outreach	 Events	 New members
14,362	7,090	43	47	88

Somerset Libraries Attendance 24/25
versus Historical Average



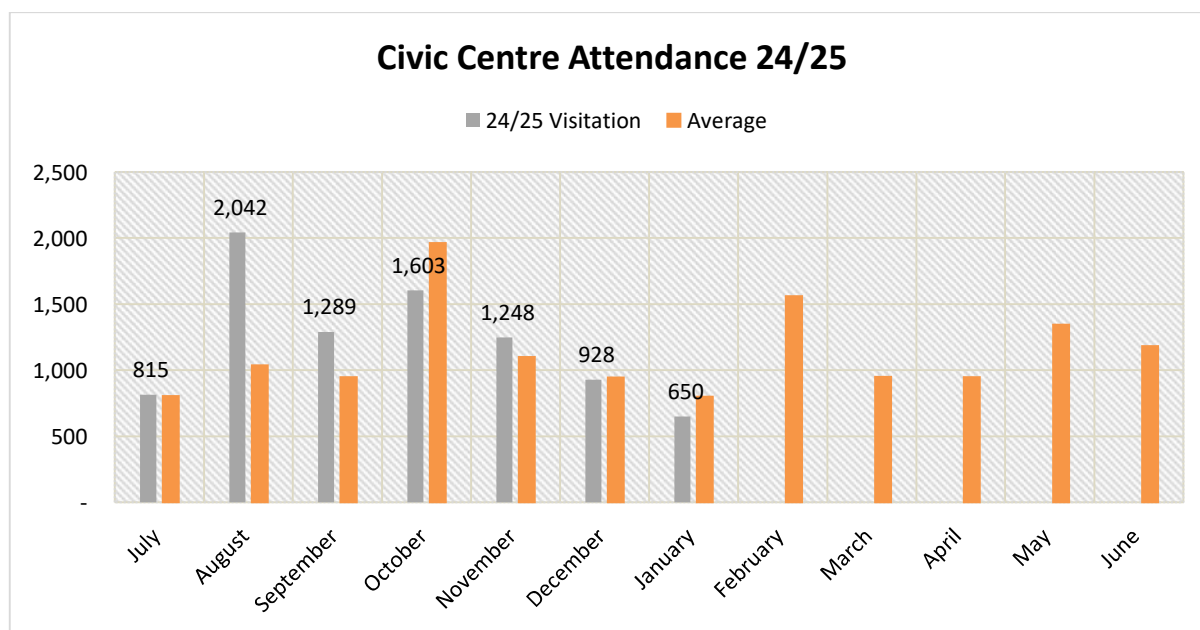
- The Summer Holiday Program concluded on 24 January with 233 children participating in a wide variety of activities including kaleidoscopes, tech & robotics, teen jewellery and fabric painting a library bag. Regular programming recommenced on 27 January

with 34 people attending outreach events and 78 people attending Storytime and Steam Squad.

- Libraries are running a Queensland Art Gallery of Modern Art (QAGOMA) creative partner program between January and June 2025 that ties in with the Asia Pacific Triennial exhibition at GOMA and the QLD Art Gallery. 105 children and adults participated in the program in January.
- Somerset Libraries will participate in the QLD wide library promotional campaign, *How Do You Library?* from February.
- Uptake of the *Somerset On The Go* library app continues with 51 new devices onboarded during January and a 21% increase in app launches.
- Facebook engagement grew between December and January with a 14% increase in page views, a 19% increase in customer interaction and 33 new followers.




Somerset Civic Centre

		
Visitation	Private/Council Events	Programmed Events
650	12	Nil

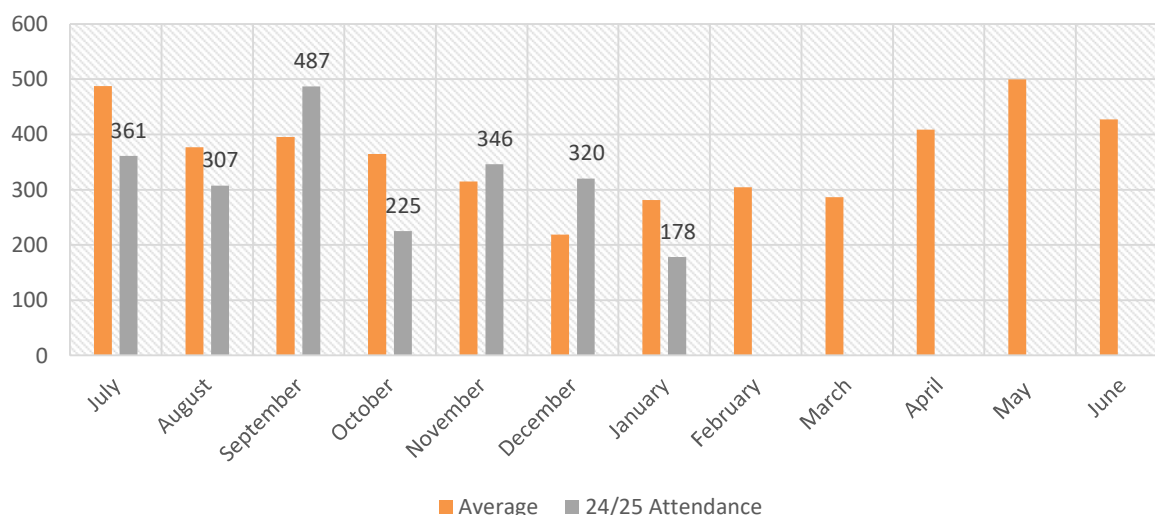


- Regular hires and venue bookings were paused over the Christmas and New Year period allowing venue staff to make several building improvements. New stage curtains were delivered and installed, alongside the replacement of the old stage lighting bar. The old tungsten lamp fixtures have been decommissioned with 37 new LED fixtures installed.

The Condensery

		
Visitation	Public programs	Exhibitions in development
178	3	9

The Condensery Attendance 24/25



Exhibitions and Events

- Exhibitions; Lionel Fogarty and Elysha Rei's exhibitions *Moiyum wungumbil mugerra bullonga* and 余白の美: *Yohaku no bi (the beauty of empty space)* opened 23 November 2024 and continued throughout January.
- The 2025 Condensery program was launched.
- Preparations continue for The Condensery's inaugural Harvest Biennial, launching 15 February 2025 and featuring the work of five Somerset artists: Cassandra Hodgins, Jim Filmer, Naomi McKenzie, Sandi Hook and Shirley Gregor.
- A suite of programs, artist talks and events connected to this exhibition are on The Condensery's website.
- Gallery Curator participated in Regional Realities, a panel discussion at the Institute of Modern Art on 25 January 2025, alongside gallery directors from Rockhampton, Sunshine Coast and Townsville.

Youth Engagement and Community Development

In January 2025, 31 nominated youth leaders from the Lowood, Toogoolawah and Kilcoy State High Schools participated in a three-day youth leadership camp which was held at the Sunshine Coast Recreation Centre. The camp focused on enhancing communication, leadership, and personal development.

Throughout the camp, students were given the opportunity to showcase their talents, engage in group activities, and interact with like-minded peers from across the region. This experience provided invaluable insights into the role of local Council in supporting youth initiatives and the broader community.

Council is committed to continuing its engagement with these youth leaders throughout 2025, fostering an ongoing connection and offering further opportunities for leadership growth.

Events and Activities

- The Mad Hatters Tea Party, aimed at families, is scheduled for Tuesday, 8 April and will be held in Clock Park, Lowood. This event invites family support stakeholders to attend and provide fun activities for children and families, including helpful information to support their wellbeing. The event is designed to foster a sense of community and connection while offering enjoyable and informative experiences for all attendees.

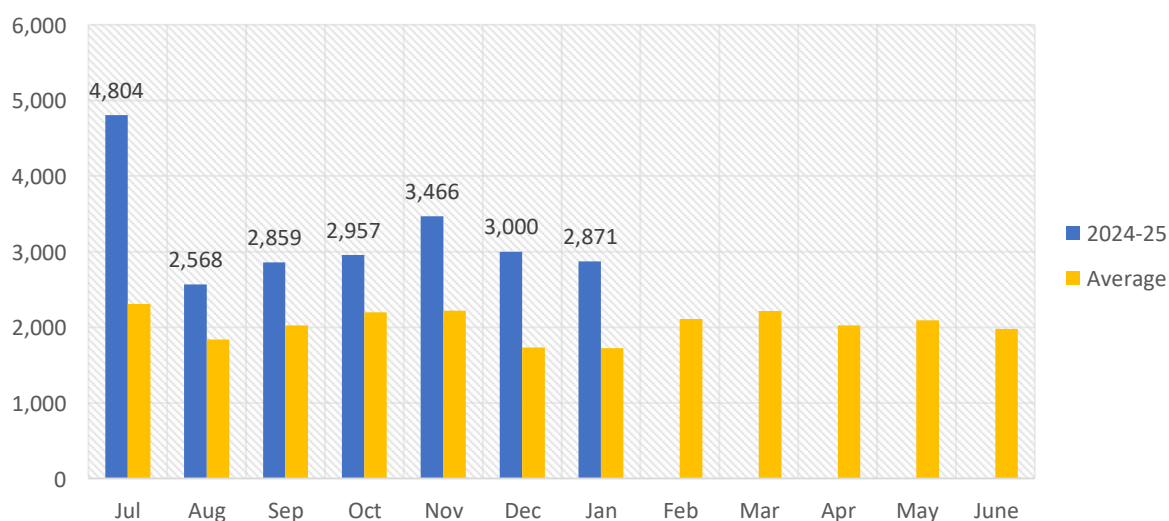
- The Roller Disco will take place on Saturday, 12 April at the Somerset Civic Centre, offering a lively and inclusive activity for local youth and families.
- Youth and Community Development Officer attended the monthly Talkin' It Up Youth Mental Health Steering Committee meeting. This year Talkin' It Up will be held at Faith Lutheran College on 8 August 2025.
- Youth and Community Development Officer attended the Mums and Bubs Social Group organised by Mercy Community in Lowood. This group provides an opportunity to connect with local parents and the broader community, while also identifying potential needs for support within the region.
- Planning commenced for International Women's Day, which will be celebrated at the Civic Centre on Wednesday, 5 March. It will include a high tea and a talk by guest speaker Karen Wilson from Council of the Aging.
- The newly appointed Community Outreach Officer commenced planning a calendar of events for the 'In Good Company' program, funded by the Department of Families, Seniors, Disability Services and Child Safety. This program will provide a mix of social activities for seniors as well as some information sessions to build their capacity to make more informed decisions. Speakers on various topics are in the process of being scheduled, with March having presentations to discuss dementia and cognitive decline. Other topics including safe driving, scam awareness and telehealth are being planned. Social activities including Midday Movies in Kilcoy, Coominya Capers, Toogoolawah Crafters and Toogoolawah Tournies are also being planned.

Sport and Recreation

The following contains an overview of Sport and Recreation facilities, programs and projects for the month of January 2025.

Fernvale Indoor Sports Centre (PCYC Fernvale)

- Record Monthly Attendance for January (2,871).
- Comparative to Monthly Historical Average – POSITIVE +1,145 (Average –1,726).
- Gym Membership Change – POSITIVE +160 (Current Membership – 1,231).
- Saturday gymnastics programs added to Saturdays due to high demand.
- Launch of Kickstart Online Gym Program to provide support and motivation.
- Launch of Playtime active sessions providing activity and coordination for infants.
- 92 participants took part in drop in programs of boxing and basketball.
- No incidents to report.

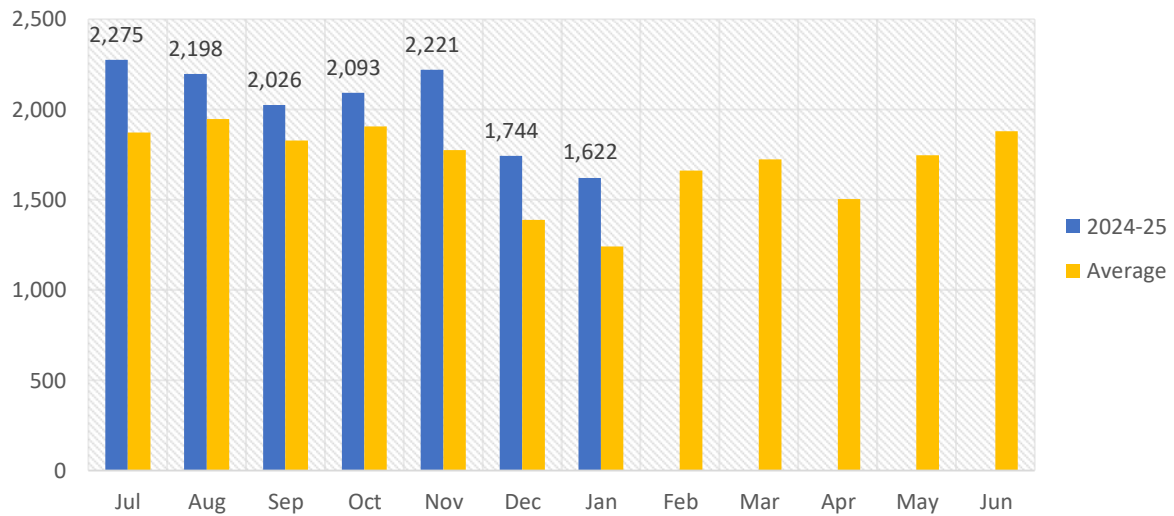


Graph: Monthly Attendance of the Fernvale Indoor Sports Centre - 2024-25 versus Average

Kilcoy Indoor Sports Centre

- Comparative to Monthly Historical Average - POSITIVE +381 (Average – 1,241).

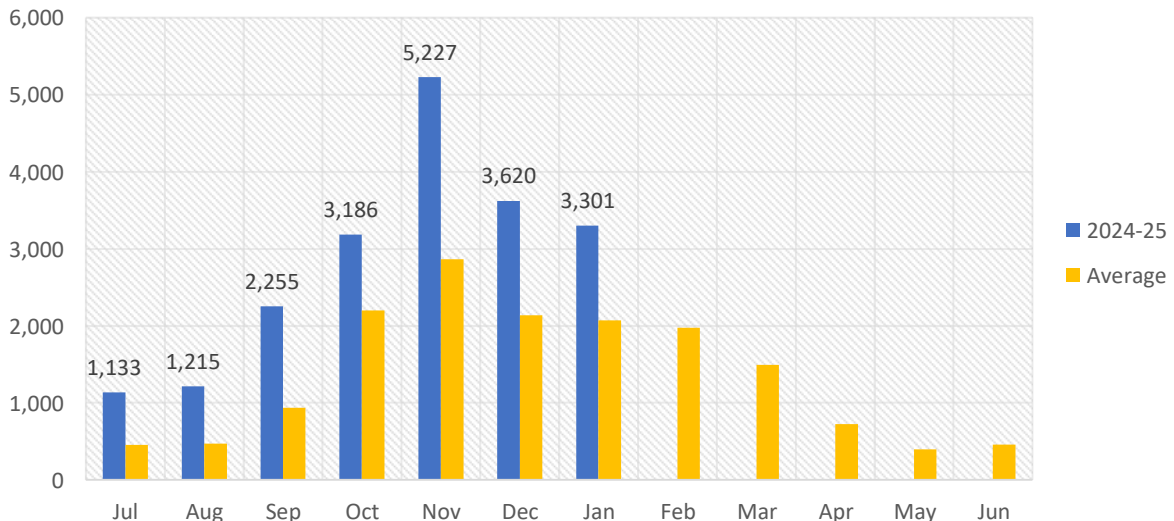
- Gym Membership Change – POSITIVE +7 (Current Membership – 126).
- 68 participants in Play Group.
- 82 participants in All Abilities Program.
- 220 participants in Indoor Court Sports.
- No incidents to report.



Graph: Monthly Attendance of the Kilcoy Indoor Sports Centre - 2024-25 versus Average

Toogoolawah Swimming Pool and Community Gym

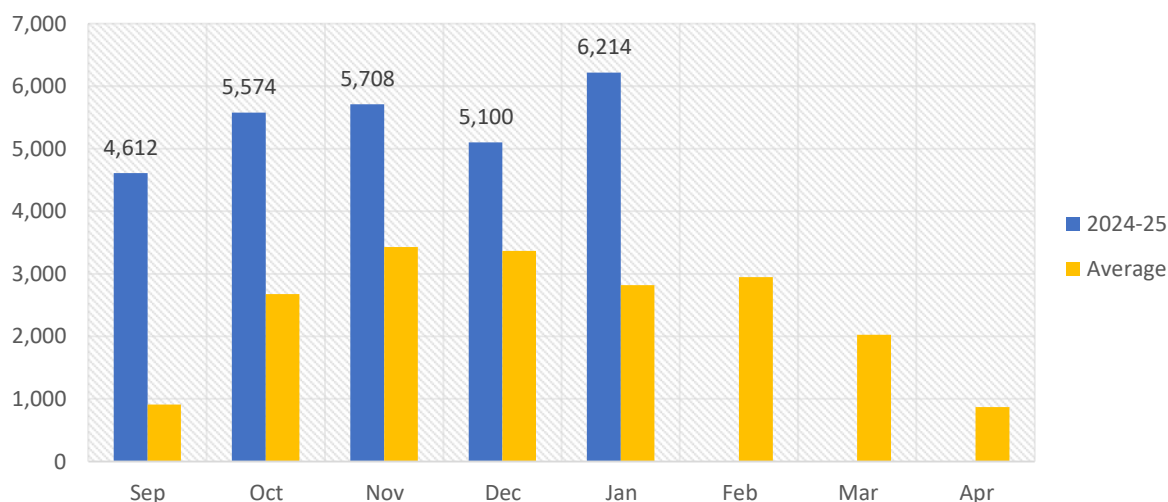
- Record Monthly Attendance for January (3,301).
- Comparative to Monthly Historical Average – POSITIVE +1,227 (Average – 2,074).
- Gym Membership Change – POSITIVE +3 (Current Membership - 107).
- 310 participants in Aqua Aerobics.
- Facility Manager, Jayne McKenzie, became Ambassador for Water Safety Teaching.
- 90 participants in learn to swim classes.
- No incidents to report.



Graph: Monthly Attendance of the Toogoolawah Swimming Pool and Community Gym - 2024-25 versus Average

Lowood Swimming Pool

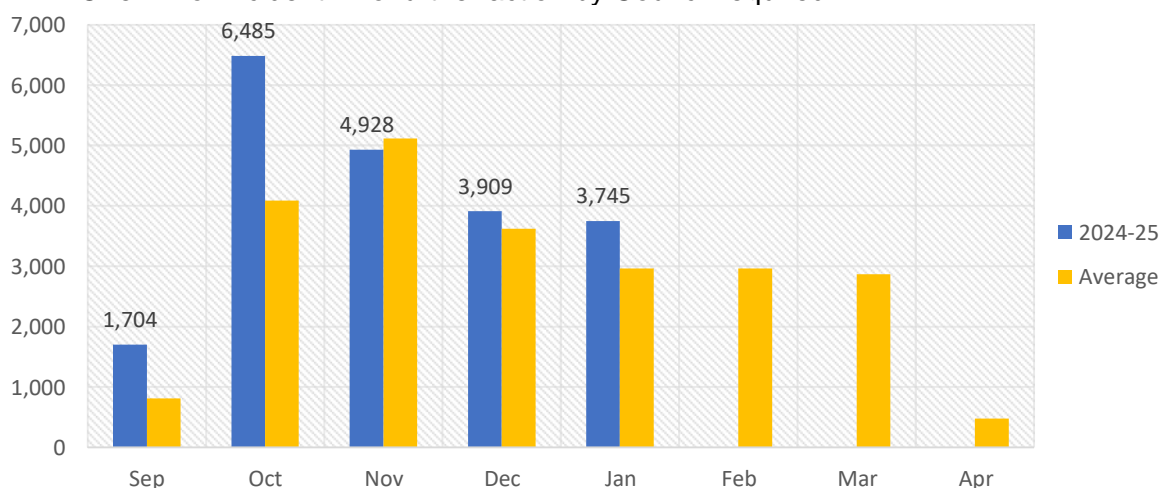
- Record Monthly Attendance for the Facility (6,214). The first time the facility has passed 6,000 attendances in a month.
- Comparative to Monthly Historical Average – POSITIVE +3,398 (Average – 2,816).
- Addition of two aqua classes with an average of 25 participants across all classes.
- Hosted Lowood State High School Swimming Carnival with 400 students attending.
- Pool closed early on three occasions due to lightning events.
- No incidents to report.



Graph: Monthly Attendance of the Lowood Swimming Pool - 2024-25 versus Average

Kilcoy Aquatic Centre

- Comparative to Monthly Historical Average – POSITIVE +784 (Average – 2,961).
- 215 participants took part in Aqua Aerobics.
- 504 children participated in Learn-to-Swim program.
- 89 members attended Swimming Club.
- Pool closed briefly on three occasions due to storm activity.
- One minor incident. No further action by Council required.



Graph: Monthly Attendance of the Kilcoy Aquatic Centre - 2024-25 versus Average

Sport & Recreation Highlights and Projects

- Australia Day Pool Parties were held across the region as part of 2025 Australia Day Celebrations at the aquatic facilities in Kilcoy, Lowood and Toogoolawah. Council provided free entry, entertainment and a community BBQ at each venue. The weather proved to be perfect for a pool party with over 500 patrons coming through the gates of the three facilities.
- A Club Workshop Dinner hosted by Council officers was held at the Lowood Bowls Club on 29 January with 29 representatives from 12 sporting clubs in attendance to share ideas and dinner with Councillors and guest speakers. Presentations included the updated "Club IQ" club resource website and grants update by Karyn Kleidon from the Department of Sport, Racing and Olympic and Paralympic Games, and a club safety and security health check by TJ Baker from PCYC Qld. Attendees discussed strategies and fielded questions regarding topics including committee governance, grant applications and planning, and were pleased with an opportunity to access relevant information and discuss solutions with other clubs. Future topics for workshops will include budgeting, volunteer management and grant writing.

- The Tender for the Fernvale Sports Park Irrigation and Field Refurbishment Project opened in late January and will close late February. The project is co funded by the Queensland Government Minor Infrastructure and Inclusive Facilities Fund.

Attachments

Nil.

Recommendation

THAT Council receive the Corporate and Community Services monthly report for January 2025 and the contents be noted.

OPERATIONS

SOMERSET REGIONAL COUNCIL – Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Andy Bickerton, Technical Officer (QAO/SES)
Director: Craig Young, Director Operations
Date: 18 February 2025
Subject: Proposed Change of Park Name – Kennedy Park, Row Street, Kilcoy
File Ref: Parks and reserves - naming - Parks and Reserves (1606458)
Action Officer: QAO/SES

Background/Summary

A customer service request has been received requesting that Council change the name of Kennedy Park in Row Street, Kilcoy. The park is recorded as having been donated by Clare Kennedy in the early to mid-60's to the then Kilcoy Shire Council, with Damien Kennedy's intention being that the park be named Clare Kennedy Park in honour of his wife.

This park is referred to as "Kennedy Park" in Council records on two occasions (Council meetings 19 December 2008 and 27 March 2013). However, no documentation regarding the formal naming of the park has been found in Council records.

Key Considerations:

1. Established Name & Historical Usage:
 - The park has been officially referred to as "Kennedy Park" since its opening on 25 April 1967, as documented in a newspaper article published in the Caboolture News on 4 May 1967.
 - Council records presently refer to the park as "Kennedy Park" suggesting that the name was acknowledged and maintained by the former Kilcoy Shire Council.
2. Recognition of the Kennedy Family Contribution:
 - The name "Kennedy Park" appropriately acknowledges the Kennedy family's significant contribution to Kilcoy's history.
 - While Clare Kennedy is believed to formally donate the land, her husband Damien Kennedy was closely involved, and the Kennedy family as a whole has a long-standing association with the area.
3. Reliance on Official References:
 - No formal documentation has been found confirming the intended name as "Clare Kennedy Park."
 - The newspaper article from 1967 explicitly refers to the park as "Kennedy Park," which is the earliest recorded reference to its official name.
 - The fact that Council has consistently referred to it as "Kennedy Park" suggests a decision was made by the former Kilcoy Shire Council, even if formal naming records have not been located.
4. Minimising Unnecessary Change:
 - The park's name has been in place for over 55 years with no prior requests for amendment.
 - Changing the name now may cause unnecessary confusion and administrative effort without a strong justification beyond individual recollections.
 - Retaining "Kennedy Park" aligns with historical records and maintains continuity for the community.

Attachments

Attachment A – newspaper article, Caboolture News 4 May 1967

Attachment B – map showing the location of the park between Row and William Streets

Recommendation



Attachment B



Location of park between Row and William Streets, Kilcoy

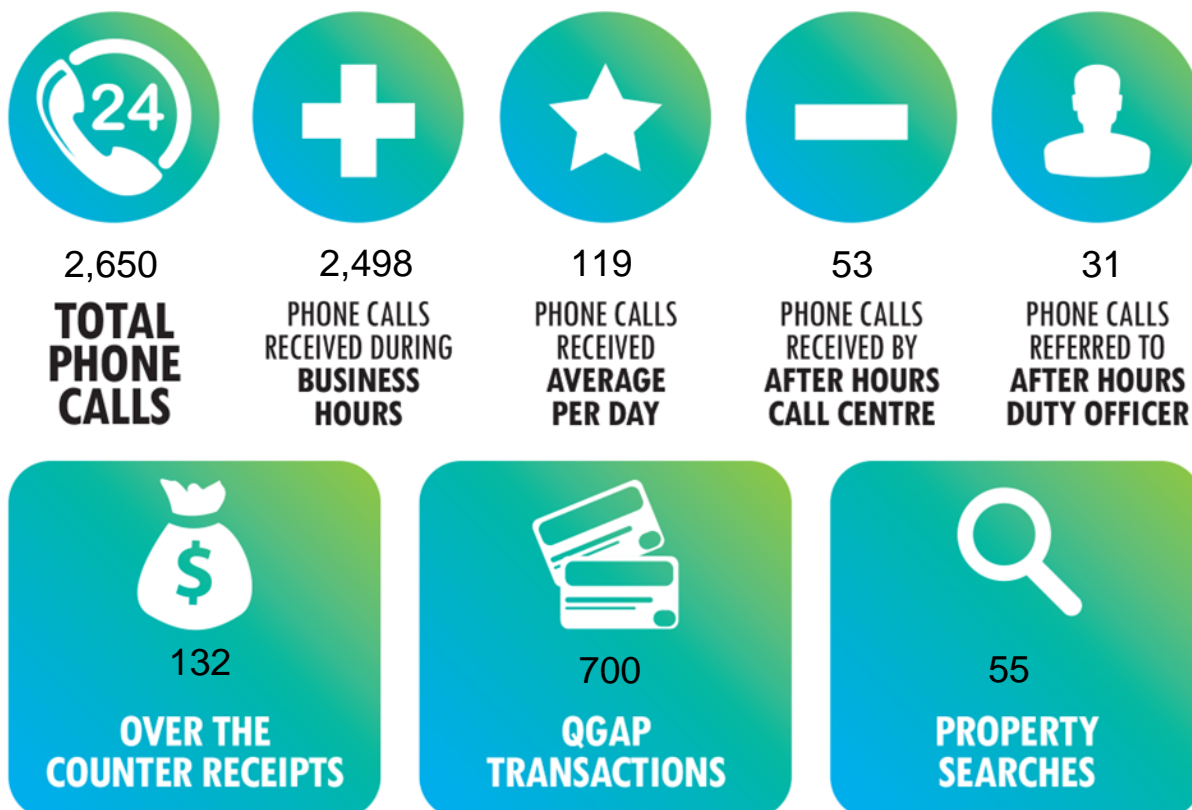
HR AND CUSTOMER SERVICE SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Allison Brunton, Customer Service Coordinator
Director: Kerri-Lee Jones, Director HR and Customer Service
Date: 11 February 2025
Subject: Customer Service Report – January 2025
File Ref: Officers Report
Action Officer: CSC

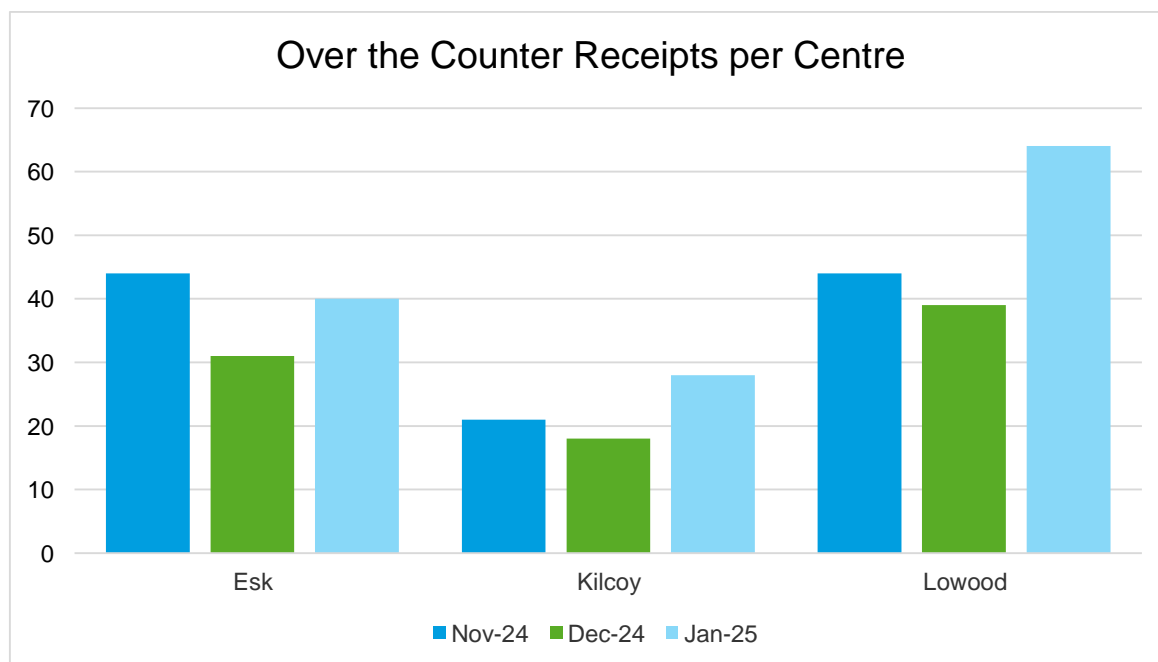
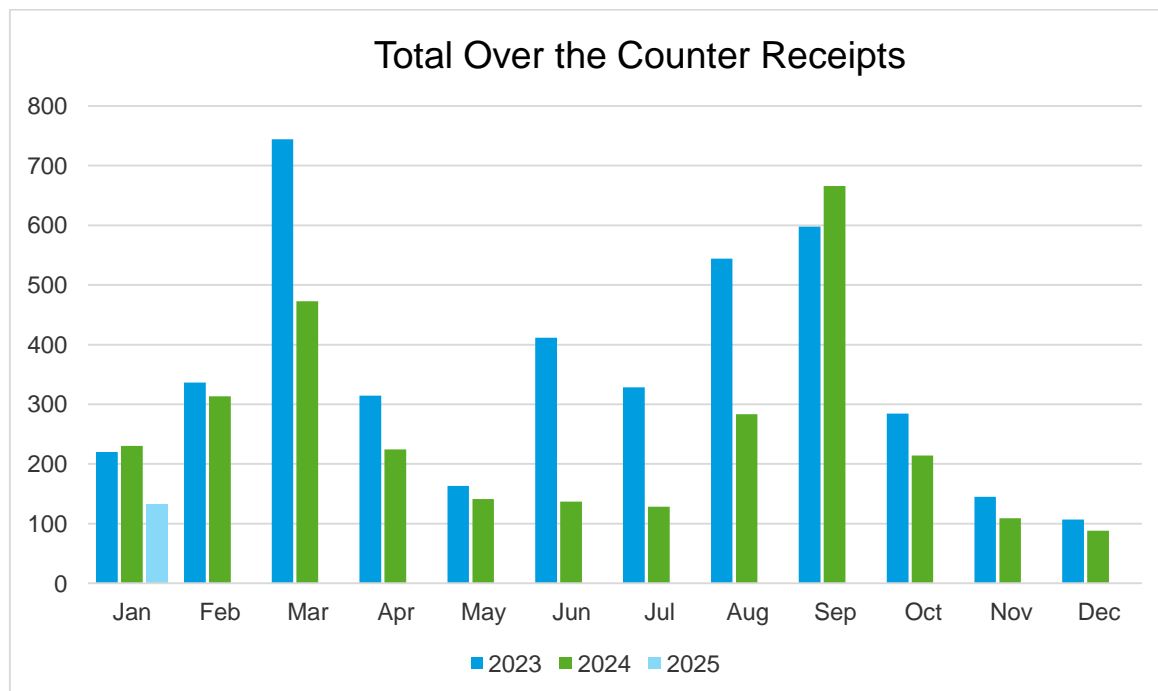
Background/Summary

In delivering on Council's Operational Plan and commitment to excellent customer service, a summary of the customer service section activities for the month of January 2025 is provided below for Council's information.

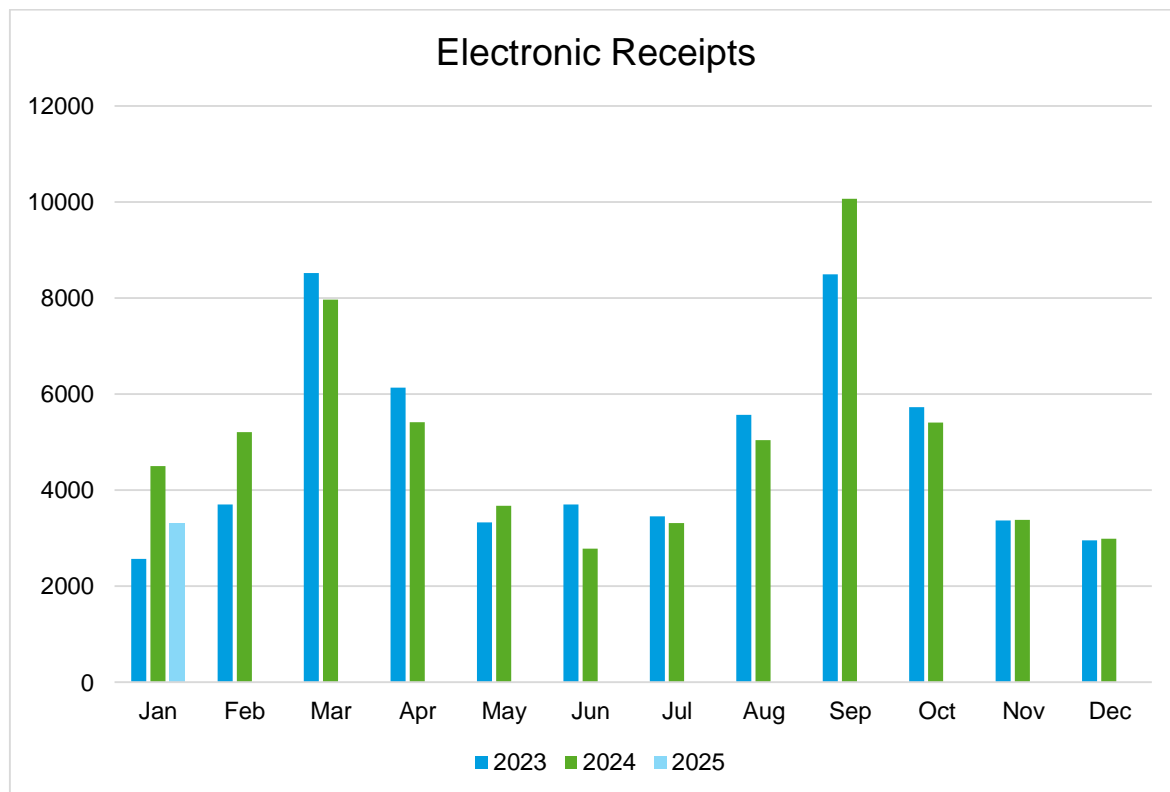
Summary for January 2025



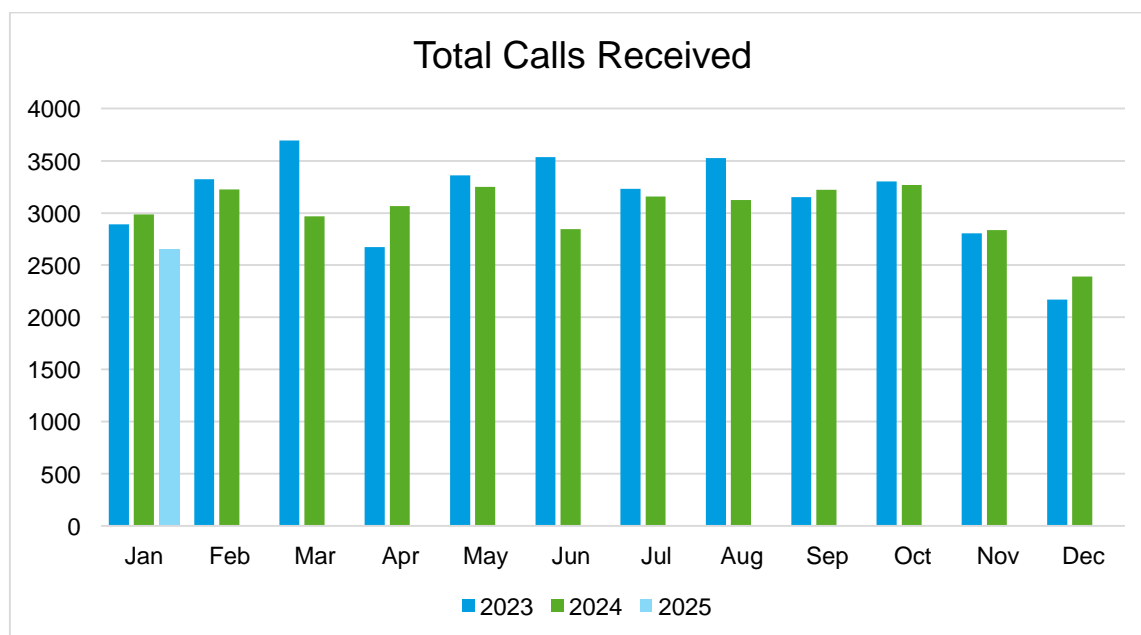
The below table shows the number of Council financial transactions that were taken over the counter at each of the customer service centres in the region for January 2025. These numbers include cheques that were posted into the Council. In total there was 132 financial transactions across the three customer service centres with 40 at Esk Administration Centre, 28 at Kilcoy Customer Service Centre and 64 at Lowood Customer Service Centre for December 2024.



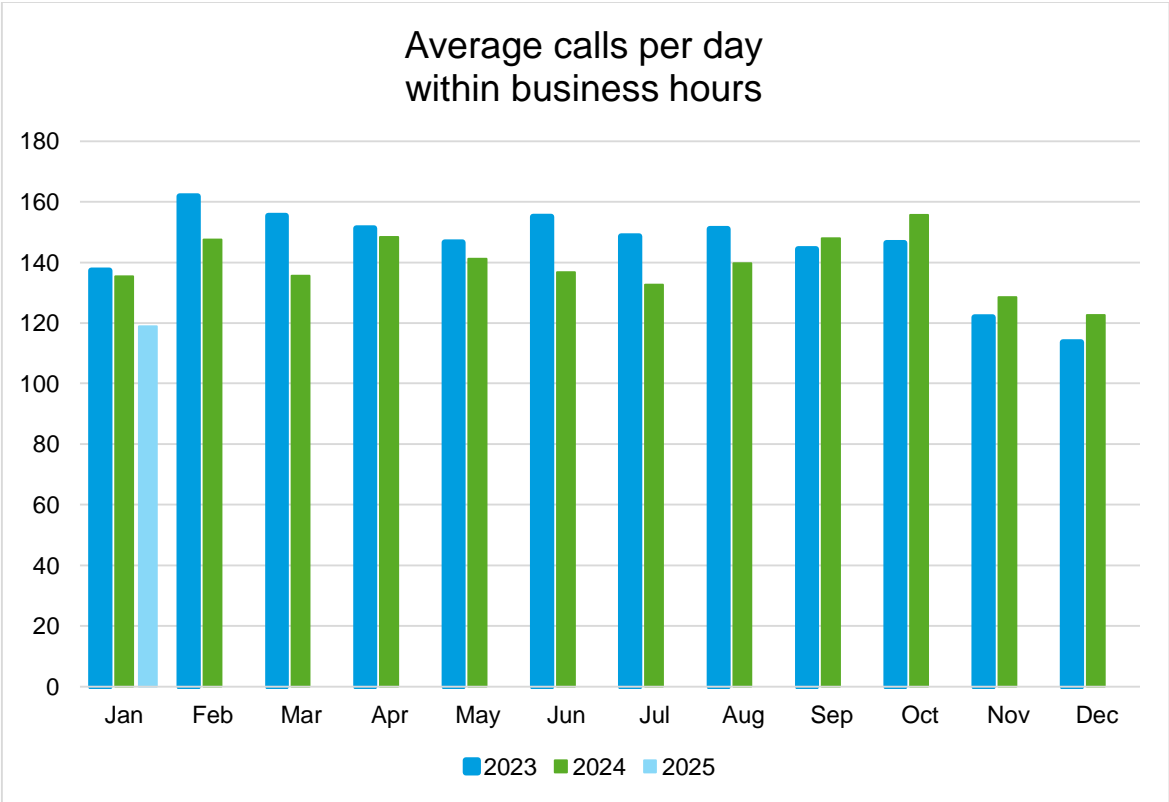
The below table illustrates all other financial transactions (excluding over the counter receipts) received at Council and processed by the finance department. These are BPay and EFT (electronic funds transfer) transactions for payments such as rates, animal registration etc. For the month of January there were 3,308 transactions. Compared to December 2024 there was an increase of 322 transactions.



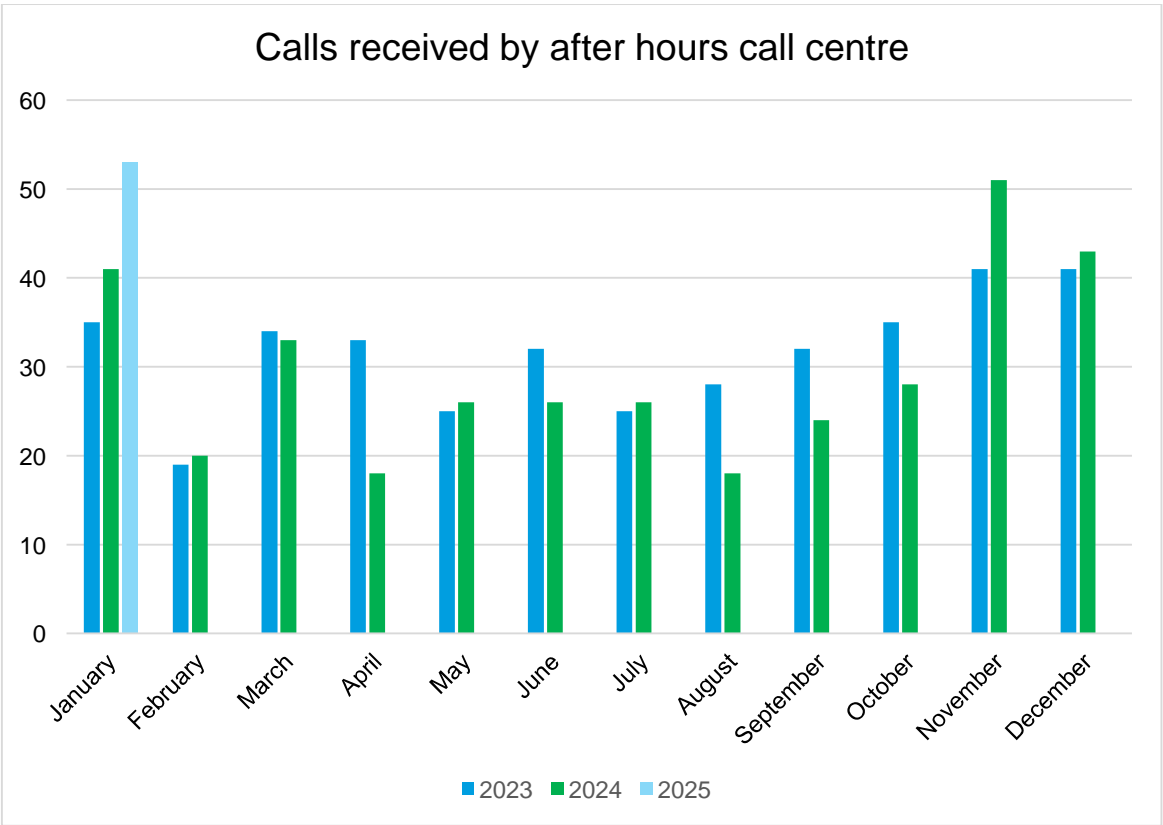
Below are the total number of calls received into the Council main phone line (07 5424 4000), including out of hours, compared to previous calendar years. Calls received does not include internal calls made within Council, or outbound calls. There were 2,650 calls received for the month January 2025. This is an increase of 259 calls compared to December 2024. Compared to January 2024 there was a decrease of 338 calls for the month.



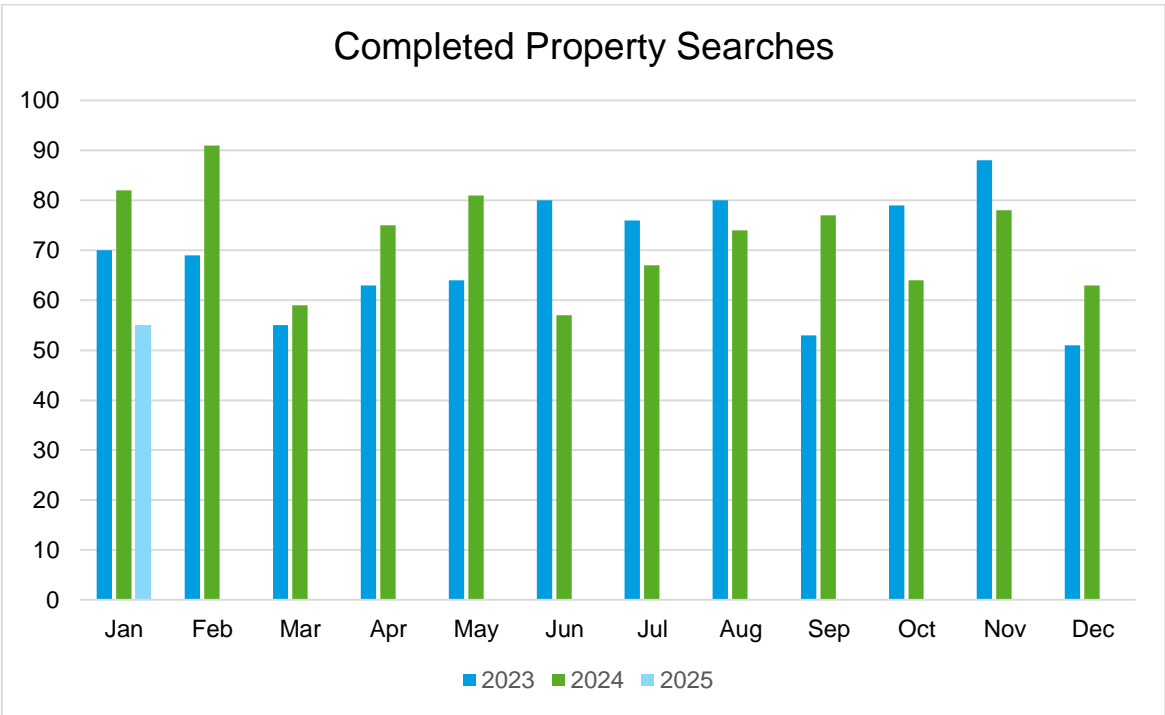
Listed below is a comparison of the average calls received per day within business hours. On average there were 119 calls received each business day for January 2025, which was a decrease of four calls on average per day from December 2024. Compared to January 2024 there was a decrease of 16 calls on average per day.



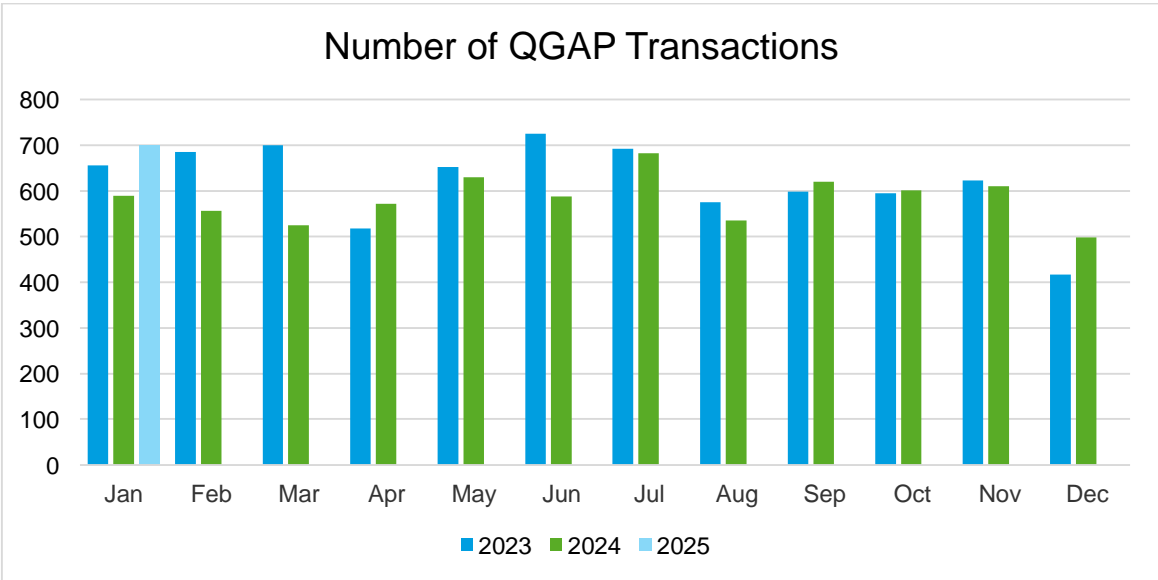
There were 2,498 calls received during business hours and 152 out of hours with 152 calls received out of hours, 53 calls were transferred to the afterhours call centre. Note: 8 of these calls were not Council related and were subsequently referred to the appropriate service providers.



For the month of January 2025 there were 55 property searches completed for prospective purchasers. This decreased by 8 completed searches for the month compared to November 2024.



There were 700 Queensland Government Agent Program (QGAP) transactions for the Lowood QGAP agency in January 2025. This is the highest number of transactions taken in a month for this office in 18 months. On average there were 33 transactions per business day in January.



QGAP conducted an annual customer satisfaction survey over a four-week period during December. This survey concluded that 100% of customers surveyed at the Lowood QGAP site reported their enquiry was resolved in full and that they were satisfied of the quality of the service including service time. 65% of customers surveyed reported they prefer to visit Lowood QGAP in person, 21% reported that the services accessed were not offered online and 14% reported other reason.

Other services

For the month of January 2025, the customer service team also assisted with additional responsibilities to various sections / departments of Council including provision of

administration support, graphic design development, processing of advertising requests, catering and meeting set up requirements, Commissioner of Declaration duties for members of the public, hire arrangements at various public access facilities throughout the Somerset region, etc.

Attachments

Nil

Recommendation

THAT Council receive the *Customer Service Report for January 2025* and the contents be noted.

CHIEF EXECUTIVE OFFICER
SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kylie Jones, Senior Rates Officer
Date: 18 February 2025
Subject: Action under section 130 of the Local Government Regulation 2012
File Ref: Rates and government valuations – rate payments – FY2025
Action Officer: Senior Rates Officer

Background/Summary

It is recommended that Council use section 130 of the Local Government Regulation 2012 to potentially save administrative costs in respect of rate payments received on 2 and 3 April 2025. The due date showing on rate notices that issue on 18 February 2025 will be 1 April 2025.

The regulation says:

130(7) The local government may, by resolution, change the discount period to end on a later day (the new discount day).

130(8) However, if the discount period is changed under subsection (7), the local government must also, by resolution, change the due date for payment to a later day that is no earlier than the new discount day.

Attachments

Nil

Recommendation

THAT Council, under subsections 130 (7) and (8) of the Local Government Regulation 2012, change the discount date and the due date for payment for the current rating period to 3 April 2025.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 12 February 2025
Subject: Community Assistance Grants – Somerset Excellence Bursaries approved by CEO – January 2025
File Ref: Community Relations – Sponsorships – Somerset Excellence Bursaries
Action Officer: ESO - KG

Background/Summary

Somerset excellence bursaries are not community grants as defined by the Local Government Regulation notwithstanding that they are to be funded from the same budget allocation as community assistance grants. As per policy, Excellence Bursaries are considered and approved at Officer level as delegated and reported to Council's Ordinary meeting monthly.

Somerset Excellence Bursary applications are considered as part of the Community Assistance Grant Policy which Council provides:

- Regional Level selection \$250
- State Level selection \$500
- National Level selection \$750
- Selection for an event hosted internationally \$1,000
- Team application (Regional, State or National) Up to \$2,000 per team/group of 4 or more individuals.
- Nomination (not selection) of a team to attend an event or training program Up to \$1,000 per team/group for nomination fees of four (4) or more individuals. (Whichever is lesser)

Council received five (5) excellence bursary applications in January 2025. Somerset Excellence Bursary applications for the month of January as detailed below:

Applicant	Bursary Recipient	Doc Id	Field	Level	Event
Tony Lehmann	Sophie Lehmann	1701535	Track and Field (Cross Country)	International \$1,000	Sophie Lehmann has been selected as part of the 2025 Canada Track and Field Tour team to attend the Jack Brown Memorial at Kelowna Canada on 28-29 June 2025.
Renee Retschlag	Renee Retschlag	1701724	Wood Chopping	International \$1,000	Renee Retschlag has been selected as part of the Australian Women's Wood Chopping Team to attend the International Relay Series at Bushtown, New Zealand on 8 - 9 March 2025.

Ross Jardine	Grace Jardine	1702596	Triathlon	Regional \$250	Grace Jardine has been selected as part of the Darling Downs School Sport team to attend the State Championships at Hervey Bay Sailing Club on 13 - 15 February 2025.
Ross Jardine	Benjamin Jardine	1702596	Triathlon	Regional \$250	Benjamin Jardine has been selected as part of the Darling Downs School Sport team to attend the State Championships at Hervey Bay Sailing Club on 13 - 15 February 2025.
Renee O'Sullivan	Tristan O'Sullivan	1704952	Soccer	Regional \$250	Tristan O'Sullivan has been selected as part of the West Zones U11's team for 2025 to attend the West Zone State Soccer Carnival at Redbank Plain Recreation Reserve on 3 - 5 May 2025.

Attachments

Nil

Recommendation

THAT Council receives the Summary of Awarded Somerset Excellence Bursaries for the month of January 2025 and the contents be noted.

SOMERSET REGIONAL COUNCIL - Officer's Report

To: Andrew Johnson, Chief Executive Officer
From: Kristy Gloag, Executive Support Officer
Date: 12 February 2025
Subject: Community Assistance Grants 2024 – 2025 – Lowood Fernvale District
Hack and Pony Club
File Ref: Community Relations – Sponsorships – Donations – Doc ID 1699093
Action Officer: ESO - KG

Background/Summary

To assist with the costs associated with the purchase of a new commercial refrigerator and six burner BBQ.

Amount requested:	\$2,500
Total cost of project:	\$2,806.65
Amount recommended to be granted:	\$1,403.35

Attachments

Nil

Recommendation

THAT the application as summarised in this report be recommended for funding and \$1,403.35 be granted through the Community Assistance Grants budget allocation; plus GST if applicable, to assist with costs associated with the purchase of a new commercial refrigerator and six burner BBQ.

SOMERSET REGIONAL COUNCIL – Officer’s Report

From: Andrew Johnson – Chief Executive Officer
Date: 17 February 2025
Subject: Lester Kropp Bridge Tender
File Ref: Corporate Management – Tendering – Lester Kropp Bridge
Action Officer: CEO

Background/Summary

Council’s Delegations Register – Council to the Chief Executive Officer (CEO) includes the following delegations:

72. Chief Executive Officer Power to enter a large-sized contractual arrangement after first inviting written tenders for the contract.

79. Chief Executive Officer Power to invite all persons who submitted a tender to change their tender to take account of a change in the tender specifications.

80. Chief Executive Officer Power to decide to accept a tender or not to accept any tenders it receives.

Council has invited all tenderers for the construction of Lester Kropp Bridge to submit revised offers based on the exclusion of certain elements.

Notwithstanding the above delegations to the CEO, Council’s Procurement Policy includes the following:

“All decisions regarding tenders are to be made by Council resolution.”

On this occasion however, because the replacement of Lester Kropp Bridge is funded under an agreement with the Australian Government under the Bridges Renewal Program with a contracted delivery date of 23 November 2025, Council’s endorsement is sought to allow the CEO to accept a tender offer notwithstanding the Procurement Policy requirement.

Attachments

Confidential Preliminary Tender Report

Recommendation

THAT Council authorises the Chief Executive Officer to accept a tender offer or amended tender offer without Council resolution for the replacement of Lester Kropp Bridge notwithstanding the procurement policy requirement that all decisions regarding tenders are to be made by Council resolution, because of the funding deadlines associated with this project and the public safety matters involved with the existing Lester Kropp Bridge.